

# CITY OF ARCADIA

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## Arcadia Planning Commission Regular Meeting Agenda



**Tuesday, May 14, 2024, 7:00 p.m.**

Pursuant to the Americans with Disabilities Act, persons with a disability who require a disability related modification or accommodation in order to participate in a meeting, including auxiliary aids or services, may request such modification or accommodation from Planning Services at (626) 574-5423. Notification 48 hours prior to the meeting will enable the City to make reasonable arrangements to assure accessibility to the meeting.

根据《美国残障人法案》的规定，需要提供残障相关调整或便利设施才能参加会议的残障人士（包括辅助器材或服务），可向规划服务部请求获得此类调整或便利设施。电话号码 (626) 574-5423。请在会前 48 小时通知规划服务部，以便作出合理安排，确保顺利参加会议。

Pursuant to the City of Arcadia's Language Access Services Policy, limited-English proficient speakers who require translation services in order to participate in a meeting may request the use of a volunteer or professional translator by contacting the City Clerk's Office at (626) 574-5455 at least 72 hours prior to the meeting.

根据阿凯迪亚市的语言便利服务政策，英语能力有限并需要翻译服务才能参加会议的人可与市书记官办公室联系（电话：626-574-5455），请求提供志愿或专业翻译服务。请至少在会前 72 小时提出请求。

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### CALL TO ORDER

### ROLL CALL

Vincent Tsoi, Chair  
Marilynne Wilander, Vice Chair  
David Arvizu, Commissioner  
Angela Hui, Commissioner  
Domenico Tallerico, Commissioner

### SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS

#### **PUBLIC COMMENTS (5 minute time limit per person)**

Each speaker is limited to five (5) minutes per person, unless waived by the Planning Commission. Under the Brown Act, the Commission or Board Members are prohibited from discussing or taking action on any item not listed on the posted agenda.

#### **PUBLIC HEARING**

All interested persons are invited to appear at a public hearing and to provide evidence or testimony concerning any of the proposed items set forth below for consideration. Separate and apart from the applicant (who may speak longer at the discretion of the Commission) speakers shall be limited to **five (5) minutes per person**. The applicant may additionally submit rebuttal comments, at the discretion of the Commission.

You are hereby advised that should you desire to legally challenge in court or in an administrative proceeding any action taken by the City Council regarding any public hearing item, you may be limited to raising only those issues and objections you or someone else raised at the public hearing or in written correspondence delivered to the City Council at, or prior to, the public hearing.

1. **Resolution No. 2146**– Architectural Design Review No. ADR 23-13 with a Density Bonus and Conditional Use Permit No. CUP 23-09 to consider a revised senior assisted living care facility (“The Ivy Arcadia”) with an Addendum to the Adopted Mitigated Negative Declaration under the California Environmental Quality Act (“CEQA”) at 1150 W. Colorado Boulevard  
**Recommendation: Adopt Resolution No. 2146 Recommending Approval to the City Council**

**Applicant: O&I Development, LLC**

### **CONSENT CALENDAR**

All matters listed under the Consent Calendar are considered to be routine and can be acted on by one roll call vote. There will be no separate discussion of these items unless members of the Commission, staff, or the public request that specific items be removed from the Consent Calendar for separate discussion and action.

1. Minutes of the April 9, 2024, Regular Meeting of the Planning Commission

**Recommendation:** Approve

### **MATTERS FROM CITY COUNCIL LIAISON**

### **MATTERS FROM PLANNING COMMISSIONERS**

### **MATTERS FROM ASSISTANT CITY ATTORNEY**

### **MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS**

### **ADJOURNMENT**

The Planning Commission will adjourn this meeting to Tuesday, June 11, 2024, at 7:00 p.m.

# Welcome to the Arcadia Planning Commission Meeting!

The Planning Commission encourages public participation and invites you to share your views on City business.

**MEETINGS:** Regular Meetings of the Planning Commission are held on the second and fourth Tuesdays of each month at 7:00 p.m. in the City Council Chambers. A full Planning Commission agenda packet with all backup information is available at City Hall, the Arcadia Public Library, and on the City's website at [www.ArcadiaCA.gov](http://www.ArcadiaCA.gov). Copies of individual Agenda Reports are available via email upon request ([Planning@ArcadiaCA.gov](mailto:Planning@ArcadiaCA.gov)). Documents distributed to a majority of the Planning Commission after the posting of this agenda will be available for review at the Planning Services Office in City Hall, 240 W. Huntington Drive, Arcadia, California.

**CITIZEN PARTICIPATION:** Your participation is welcomed and invited at all Planning Commission meetings. Time is reserved at each regular meeting for those in the audience who wish to address the Planning Commission. The City requests that persons addressing the Planning Commission refrain from making personal, slanderous, profane, or disruptive remarks. When the Chair asks for those who wish to speak please come to the podium and state your name and address for the record. Please provide a copy of any written materials used in your address to the Planning Commission as well as a copy of any printed materials you wish to be distributed to the Planning Commission.

**MATTERS NOT ON THE AGENDA** should be presented during the time designated as "PUBLIC COMMENTS." In general, each speaker will be given (5) minutes to address the Planning Commission; however, the Chair, at his/her discretion, may shorten the speaking time limit to allow all speakers time to address the Planning Commission. **By State law, the Planning Commission may not discuss or vote on items not on the agenda. The matter will automatically be referred to staff for appropriate action or response, or will be placed on the agenda of a future meeting.**

**PUBLIC HEARINGS AND APPEALS** are items scheduled for which public input is either required or desired. Separate and apart from an applicant or appellant (who may speak longer at the discretion of the Planning Commission), speakers shall be limited to (5) minutes per person. The Chair, at his/her discretion, may shorten the speaking time limit to allow all speakers to address the Planning Commission. The applicant or appellant may also be afforded an additional opportunity for rebuttal comments.

**AGENDA ITEMS:** The Agenda contains the regular order of business of the Planning Commission. Items on the Agenda have generally been reviewed and investigated by the City Staff in advance of the meeting so that the Planning Commission can be fully informed about a matter before making its decision.

**CONSENT CALENDAR:** Items listed on the Consent Calendar are considered to be routine by the Planning Commission and may be acted upon by one motion. There will be no separate discussion on these items unless a member of the Planning Commission, Staff, or the public so requests. In this event, the item will be removed from the Consent Calendar and considered and acted on separately.

**DECORUM:** While members of the public are free to level criticism of City policies and the action(s) or proposed action(s) of the Planning Commission or its members, members of the public may not engage in behavior that is disruptive to the orderly conduct of the proceedings, including, but not limited to, conduct that prevents other members of the audience from being heard when it is their opportunity to speak, or which prevents members of the audience from hearing or seeing the proceedings. Members of the public may not threaten any person with physical harm or act in a manner that may reasonably be interpreted as an imminent threat of physical harm. All persons attending the meeting are expected to adhere to the City's policy barring harassment based upon a person's race, religious creed, color, national origin, ancestry, physical handicap, medical condition, marital status, gender, sexual orientation, or age. The Chief of Police, or such member or members of the Police Department, may serve as the Sergeant-at-Arms of the Planning Commission meeting. The Sergeant-at-Arms shall carry out all orders and instructions given by the presiding official for the purpose of maintaining order and decorum at the meeting. Any person who violates the order and decorum of the meeting may be placed under arrest and such person may be prosecuted under the provisions of Penal Code Section 403 or applicable Arcadia Municipal Code section.

# 欢迎来到阿卡迪亚规划委员会会议！

规划委员会鼓励公众参与并诚邀您分享对市政业务的看法。

**会议：**规划委员会的例会于每月的第二个及第四个星期二下午七时在市议会会议厅举行。可在市政厅、阿卡迪亚公共图书馆 (Arcadia Public Library) 和市政网站 ([www.ArcadiaCA.gov](http://www.ArcadiaCA.gov)) 上查阅包含所有备份信息的完整的规划委员会议程包。个人议程报告的副本可通过电子邮件的方式 ([Planning@ArcadiaCA.gov](mailto:Planning@ArcadiaCA.gov)) 索取。本议程发布后，分发至大多数规划委员会的文件可在规划服务办公室 (地址：City Hall, 240 W. Huntington Drive, Arcadia, California) 查阅。

**公民参与：**欢迎并邀请您参加规划委员会的所有会议。每次例会都为希望向规划委员会发表意见的听众预留时间。本市政要求向规划委员会发表意见的个人不得发表人身攻击、诽谤、褻渎或破坏性言论。当主持人邀请想要发言之人上台发言时，请说出自己的姓名和地址，以便记录。请向规划委员会提供您所在地址所使用的任何书面材料的副本，以及您希望分发给规划委员会的任何印刷材料的副本。

**未列入日程的事项**应在“公众征求意见”所指定的时间提出。一般而言，每位发言者都将获得 (5) 分钟的时间来向规划委员会表达自己的意见；但是主持人可以酌情缩短发言时间，以便可以让所有发言者都可以向规划委员会表达自己的想法。**根据州法律，规划委员会不得讨论或就议程外事项进行投票。此事项将自动提交至工作人员采取适当地行动或回应，或将列入今后会议的议程。**

**公众听证会或上诉**是需要或希望公众发表意见的计划项目。除了申请人或上诉人（规划委员会可酌情延长其发言时间）外，每位发言者的发言时间不得超过 (5) 分钟。市长可以酌情缩短发言时间，确保所有发言者都可以向市议会表达意见。申请人或上诉人也可获得额外的反驳意见机会。

**议程事项：**该议程包括规划委员会的正常议事日程。市政工作人员一般会在会议前审查和调查议程内事项，以便规划委员会在作出决定前充分了解有关事项。

**获准日历：**“获准日历”上所列事项被规划委员会视为例行公事，可通过一项动议采取行动。除非规划委员会成员、工作人员或公众要求，否则不会单独讨论这些事项。若出现这一情况，则该事项将从“获准日历”中删除，并对其进行单独审议和行动。

**礼节：**虽然公众可以自由地批评城市政策以及规划委员会或其成员的行动或拟议的行动，但公众不得采取破坏诉讼有序进行的行为，包括但不限于阻止其他听众在有机会发言时发表意见的行为，或阻止听众听到或看到诉讼进程。公众不得以人身伤害威胁任何人，或以可合理地解释为迫在眉睫的人身伤害威胁的方式行事。所有参加会议的人都应遵守本市的政策，禁止基于个人的种族、宗教信仰、肤色、国籍、血统、身体残疾、医疗状况、婚姻状况、性别、性取向或年龄而进行骚扰。警务处处长或警务处的此类成员可担任规划委员会会议的警卫官。警卫官应执行主持会议的官员为维持会议秩序和礼仪而发出的所有命令和指示。任何违反会议秩序和礼仪的人均可被逮捕，并可根据《刑法典》第403条或适用的《阿卡迪亚市政法典》相关部分的规定对其提起诉讼。



# STAFF REPORT

Development Services Department

**DATE:** May 14, 2024

**TO:** Honorable Chairman and Planning Commission

**FROM:** Lisa L. Flores, Deputy Development Services Director  
Edwin Arreola, Associate Planner

**SUBJECT:** RESOLUTION NO. 2146 – ARCHITECTURAL DESIGN REVIEW NO. ADR 23-13 WITH A DENSITY BONUS AND CONDITIONAL USE PERMIT NO. CUP 23-09 TO CONSIDER A REVISED SENIOR ASSISTED LIVING CARE FACILITY (“THE IVY ARCADIA”) WITH AN ADDENDUM TO THE ADOPTED MITIGATED NEGATIVE DECLARATION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (“CEQA”) AT 1150 W. COLORADO BOULEVARD  
**Recommendation: Adopt Resolution No. 2146 Recommending Approval to the City Council**

## SUMMARY

The Applicant, O&I Development, LLC, on behalf of the property owner, Artis Senior Living, LLC, is requesting approval of Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09 to amend a project that was approved by the City Council in 2020 for a new two-story senior assisted living care facility project with 80 units (Artis Senior Living Project) at 1150 W. Colorado Boulevard. The revised project, known as “The Ivy Arcadia,” will be a three-story senior assisted living care facility with 100 units and 114 beds. The revised project includes a density bonus to allow the Floor Area Ratio (FAR) of 0.88, which exceeds the maximum permitted FAR of 0.50.

It is recommended that the Planning Commission adopt Resolution No. 2146 (Attachment No. 1) recommending that the City Council adopt the Addendum to the Adopted Mitigated Negative Declaration (Attachment No. 5) and approve Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09 for the revised project known as the “The Ivy Arcadia.”

## **BACKGROUND**

The subject site is located at the southeast corner of W. Colorado Boulevard and Michillinda Avenue at 1150 W. Colorado Boulevard. It is zoned General Commercial (C-G) and has a General Plan Land Use Designation of Commercial (.50 FAR). The site is approximately 2.82 acres and is currently developed with a vacant 13,088 square foot building that was previously occupied Coco's Bakery and Restaurant that closed in July 2021. The site is surrounded by the 210 freeway to the north, commercial uses to the west in the Los Angeles County area, and single-family residential properties to the east and south. The residential properties adjacent to this site along the west side of N. Altura Road and both the north and south side of Altura Terrace are not within the Lower Rancho Homeowners Association (HOA) but the homes beyond those are located within the Lower Rancho HOA - refer to Figure No.1 for an aerial view of the area, and Attachment No. 2 for an Aerial Photo with Zoning Information.



**Figure 1 – Aerial View of the Site**

On August 18, 2020, the City Council adopted a Mitigated Negative Declaration and approved the Artis Senior Living Project. The Artis Senior Living Project involved the demolition of the building and the development of a new two-story 44,192 square foot senior living care facility with 80 senior housing units and on-site amenities, inclusive of a community center, a gallery, a café, a barber/beauty shop, a small health center for the residents, and 58 parking spaces and one loading space for deliveries. The approval also

included a Zone Change for the removal of the Architectural Design Overlay Zone and the Automobile Parking Overlay Zone from the site which restricted the height and buildable area on the lot.

The City granted the Applicant two one-year extensions and the entitlements expired on March 18, 2024. On November 9, 2023, the Applicant for The Ivy Arcadia filed a revised project of the assisted living care facility with the City.

## **PROPOSAL**

The revised project consists of demolishing the existing 13,088 square foot restaurant building and construct a new 107,706 square foot, three-story Traditional/Cape Cod architectural style building that will provide assisted living and memory care services for seniors that have Alzheimer's and other related memory loss – refer to Attachment No. 3 for the Architectural Plans and Renderings, and Figure No. 2 below for a rendering of the project.

The Applicant, O&I Development, LLC - Oakmont Senior Living operates 90 facilities in California, Hawaii, and Nevada. This will be Oakmont's first facility in Arcadia, known as The Ivy Arcadia, and they will provide 24-hour staffing and services such as daily meals, housekeeping services, transportation services, social activities, and other support services. The facility will serve persons 60 years of age or older, however, their average residence age for assisted living is 86 years old. They will have approximately 10 employees between the hours of 10:00 p.m. to 2:00 p.m. and 15 employees between the hours of 2:00 p.m. to 10:00 p.m.

The facility will have 100 units with 114 beds. The units would consist of varying types, including studio, one-bedroom, and two-bedroom units for assisted living and private and shared studios for memory care. The building is proposed to be built at the maximum height of 40'-0" and will have an interior side yard setback of 51'-9", whereas 10'-0" is required, a street-side yard setback of 50'-0", whereas 5'-0" is required, a minimum rear yard setback of 35'-0", whereas 20'-0" is required, and a 29'-0" front yard setback, whereas no setback is required.



**Figure 2 – Rendering View from W. Colorado Boulevard**

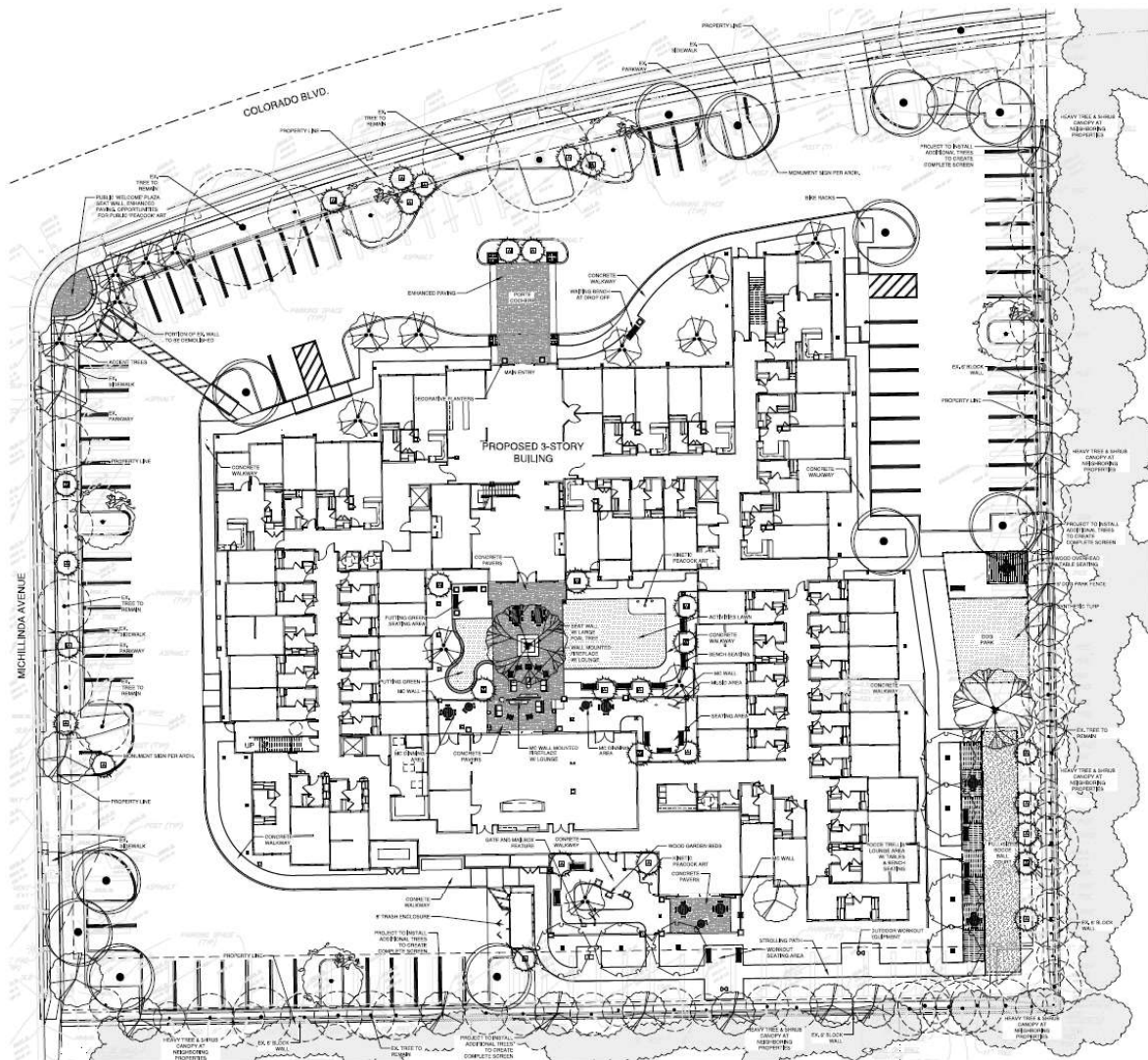
The units will range between 396 square foot studios to 1,146 square foot two-bedroom units (see Figure 3 below for a Unit Summary). Unit amenities will include kitchens in some of the units, bathrooms, and closet space. The first floor will comprise of 14 units for assisted living, 30 units for memory care, lobbies, offices, a dining room and a café, a laundry room, a sensory wellness room, a reading room, and a sitting and music area, as well as separate open-air courtyards in the middle of the building. The second floor will comprise of 36 units for assisted living, offices, a laundry room, and a staff lounge. The third floor will comprise of 20 units for assisted living, a dining room with an exhibition kitchen, a bar/lounge, an activity room, a media room, a fitness center with a physical therapy area, a beauty salon, and storage areas. Additionally, the facility will have an exterior outdoor patio for memory care patients, a workout area, a trash enclosure, and an emergency generator room. A dog park and a bocce ball court will be located in the southeastern portion of the property.

UNIT SUMMARY							
ASSISTED LIVING							
NAME	TYPE	DESCRIPTION	SQ FT	1ST FLR	2ND FLR	3RD FLR	TOTAL UNITS
ALDER	AA-35	STUDIO	425	5	7	3	15
MADRONE	A-32	STUDIO	460	0	1	3	4
MADRONE	A-34	ONE BEDROOM	489	0	3	1	4
TAMARACK	A-35	ONE BEDROOM	502	0	2	0	2
PINE	A-35	ONE BEDROOM	504	0	2	3	5
ELM	C-30	ONE BEDROOM	729	0	0	2	2
ELM	C-32	ONE BEDROOM	776	0	3	0	3
ELM	C-32W	ONE BEDROOM	864	0	1	0	1
REDWOOD	C-33	ONE BEDROOM	800	6	6	2	14
REDWOOD	C-35D	ONE BEDROOM	800	1	8	4	13
WALNUT	C-CORNER	TWO BEDROOM	957	2	2	1	5
SEQUOIA	D-33D	TWO BEDROOM	1146	0	1	1	2
				1ST FLR	2ND FLR	3RD FLR	TOTAL
ASSISTED TOTAL UNITS				14	36	20	70
ASSISTED TOTAL SQUARE FOOTAGE				9,639	24,366	13,017	47,022
MEMORY CARE							
NAME	TYPE	DESCRIPTION	SQ FT	1ST FLR	2ND FLR	3RD FLR	TOTAL UNITS
ACACIA	AAZ-33	PRIVATE STUDIO	396	12	0	0	12
ACACIA	AAZ-34	PRIVATE STUDIO	409	8	0	0	8
ACACIA	AAZ-35	PRIVATE STUDIO	422	3	0	0	3
OAK	AZ-34	SHARED STUDIO	488	5	0	0	5
CYPRESS	AZ-38P	SHARED STUDIO	561	2	0	0	2
				1ST FLR	2ND FLR	2ND FLR	TOTAL
MEMORY TOTAL UNITS				30	0	0	30
MEMORY TOTAL SQUARE FOOTAGE				12,852	0	0	12,852
TOTAL UNITS				42	35	20	100
TOTAL SQUARE FOOTAGE				22,491	24,366	13,017	59,874

**Figure 3 – Unit Summary**

Vehicular access to the site will be provided off the two existing driveways, one along Colorado Boulevard near the northeastern corner of the property and another along Michillinda Avenue near the southwestern corner. These driveways are proposed to be reconstructed in the same general location for American with Disabilities Act (ADA) compliance. A porte cochere would also be provided in front of the main entrance to the facility as a loading and unloading area for the residents. In terms of parking, the site will provide 70 parking spaces: 61 standard spaces, 2 handicap parking spaces, 6 electric

vehicle (EV) spaces, and 1 EV space that complies with ADA requirements. Parking will be located along the perimeter of the site (refer to the Site Plan below under Figure 4).



**Figure 4 – Site Plan**

As part of the project, 22 unprotected trees will be removed. All 16 of the protected trees on site will be preserved, and additional trees will be planted alongside the remaining unprotected trees to provide screening of the proposed building from the residential properties to the east and south. The Applicant will be required to comply with all the tree protection measures in the Arborist Report to ensure that the protected trees will not be harm during any construction activities – refer to condition of approval no. 4 and Attachment No. 4.

As part of the new development, a 4-foot-wide dedication along W. Colorado Boulevard and Michillinda Avenue will be granted to the City to accommodate the widening of the

public rights-of-way from approximately 8 feet to 12 feet in width. Construction of the project is expected to occur over a 20-month period.

## **ANALYSIS**

The Development Code allows a Large-Residential Care Facility in the General Commercial (C-G) zone subject to the approval of a Conditional Use Permit. The senior assisted living care facility has been designed to be functionally suitable for the proposed site and be sensitive to the privacy and impact on the adjacent residential properties. As with the previously approved project, this proposal will provide housing options to the aging population of the region, and assistance for those with memory care needs. The redevelopment of the site with a senior assisted living care facility was determined by the City Council and Planning Commission back in 2020 as an appropriate use and development for this property. According to the traffic analysis, this senior assisted living care facility is expected to generate less trips than the previous Coco's restaurant when it was in operation.

The underlying General Commercial (C-G) zone allows a maximum FAR of 0.5. The proposed senior assisted living care facility has a FAR of 0.88, which exceeds the maximum permitted FAR. However, under the California Density Bonus Law, a project is entitled to receive a density bonus as a matter of right if it meets the requirements of California Government Code Section 65915. In addition, pursuant to Senate Bill (SB) 713, which was signed by Governor Newsom in October 2023, a local government cannot apply any development standard that precludes the construction of a development seeking a density bonus. Since the project is a senior housing development, it is entitled to receive a density bonus and deviate from the maximum permitted FAR, which would otherwise physically preclude the construction of the proposal based on the maximum allowable residential density under the C-G zone. The density bonus law does not require affordability for senior housing projects. By virtue of it being a senior housing project, it is a density bonus law project, and any requests for a density bonus has to be approved by City Council.

The proposed building will be situated 35'-0" from the adjacent residential properties to the south, and 51'-9" from the residential properties to the east. To maintain the existing privacy between facility and the neighboring residential properties, the existing large trees along the perimeter of the site will be kept and new trees and/or hedges will be added where there is a gap. Additionally, most of the units on the upper floors of the south side of the facility do not face the adjacent residential properties. Therefore, the project has incorporated design elements to provide added privacy to the neighbors.

In terms of parking, the Development Code requires one (1) parking space for every three (3) licensed beds within the residential care facility. With a total of 114 beds proposed, the project requires a total of 38 parking spaces for the residents, employees, and visitors. Although the Code does not require additional parking for the employees, the Applicant is proposing 32 more parking spaces to ensure there is more than sufficient parking at any given time. The project would comply with all other applicable development standards, including height, and setbacks.

The previously approved project required a Protected Tree Encroachment Permit for the encroachment into the driplines of four, off-site, protected trees. However, the Development Code has since been amended to not require an encroachment permit for any trees off-site that are not a protected Oak or Sycamore trees. Since these four protected trees are not oaks or sycamores, a Protected Tree Encroachment Permit is no longer required.

### Architectural Style

Similarly to the approved project, the proposed building is designed in a Traditional/Cape Cod architectural style with varied massing and materials and articulation on each of the building façades to help break up the building size. The proposed design complements the adjoining residential properties and will enhance the overall streetscape, as it provides a transition from the commercial corridor to the west of the site to the residential neighborhoods to the east – refer to Attachment No. 3 for the architectural plans and to the rendering above. The design contains architectural features that are commonly found within the Traditional and Cape Cod architectural styles, such as white and gray colored vertical and horizontal cement fiber board siding, gray colored shingle siding, gray asphalt shingle roofing, and stone veneer at the base of the building. The design also includes many decorative features, such as white colored Juliet balconies and navy colored wooden shutters on most of the windows, accent gray standing seam metal roofing, planter boxes along the sides of the building, and a porte cochere and front porch that act as focal points on the street side elevations of the building. The use of the various materials along with the articulation provided on each of the building façades helps prevent long or tall looking wall expanses that would otherwise make the building appear large. The overall design is well balanced and aesthetically pleasing with the use of neutral tone colors. The location on the southeastern corner of W. Colorado Boulevard and Michillinda Avenue provides a suitable focal point as an entryway to the City. Although commercial buildings are typically encouraged to be placed closer to the street, the large setback provided to this building helps make it fit in as more of a part of the residential neighborhood in proximity.



**Figure 5 – Rendering View from Michillinda Avenue**

This revised design will elevate this corner as the City has also envisioned a high-end development at this location since this is one of the gateways into the City.

## **FINDINGS**

### **Conditional Use Permit**

Section 9107.09.050(B) of the Development Code requires that for a Conditional Use Permit to be granted, it must be found that all of the following prerequisite findings can be satisfied:

- 1. The proposed use is consistent with the General Plan and any applicable specific plan; and is allowed within the applicable zone, subject to the granting of a Conditional Use Permit, and complies with all other applicable provisions of the Development Code and the Municipal Code.**

**Facts to Support This Finding:** Approval of the senior assisted living care facility will be consistent with the Commercial General Plan Land Use Designation. The site is zoned General Commercial (C-G) and pursuant to the Arcadia Development Code Section 9102.03.020, Table 2-8, allows a Large-Residential Care Facility in the General Commercial C-G zone subject to the review and approval of a Conditional Use Permit. The underlying zone allows for a broad array of commercial uses that are both neighborhood and citywide serving. The senior assisted living care facility will allow a business that can serve the aging population of the City, specifically those with Alzheimer's disease and related memory delays. Aside from the FAR, which is a concession of the density bonus, the project complies with all the development standards of the General Commercial C-G zone. The proposed project will not adversely affect the comprehensive General Plan, and is consistent with the following General Plan goals and policies:

- Goal LU-1: A balance of land uses that preserves Arcadia status as a Community of Homes and a community of opportunity.
  - Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
  - Policy LU-1.2: Promote new uses of land that provide diverse economic, social, and cultural opportunities, and that reinforce the characteristics that make Arcadia a desirable place to live.
  - Policy LU-1.5: Require that effective buffer areas be created between land uses that are of significantly different character or that have operating characteristics which could create nuisances along common boundary.
- 2. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity.**

**Facts to Support This Finding:** The project provides a transition between the commercial businesses in the Los Angeles County area to the west of the site and the

adjacent residential properties to the east and south as a senior assisted living use. The proposed building will be setback more than the minimum required from the adjacent residential properties and will have a parking and landscape buffer between the facility and the residential uses. The proposed use, being more of a residential use, is not expected to negatively affect the adjacent properties. Parking for the project is above the minimum required and is expected to be an adequate amount for the site due to the nature of the use which wouldn't consist of many residents that drive. Additionally, transportation services will be provided to the residents. Additionally, the project will result in an overall reduction of vehicular traffic as compared to the existing use and most other commercial uses that could be considered for the property. The project site is adequate in size and location to accommodate the revised development. Thus, the proposed senior assisted living care facility will be compatible with the existing and future uses in the vicinity.

**3. The site is physically suitable in terms of:**

- a. Its design, location, shape, size, and operating characteristics of the proposed use in order to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood.**

**Facts to Support This Finding:** The site measures approximately 2.82 acres and is large enough to physically support the new senior care facility. The current utility infrastructure on site is more than capable of accommodating the proposed use. Landscaping is being maintained along the perimeter of the lot and various new pockets of landscaping will be introduced around the building site. The project will have two points of access on to the lot and will also provide more than the required amount of parking. The proposed project will comply with all of the regulations within the Development Code except for the FAR which is allowed to exceed the maximum because of the density bonus for senior housing development. Therefore, the site is adequate in size to accommodate the proposed senior assisted living care facility.

- b. Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access.**

**Facts to Support This Finding:** The project will be located at the southeast corner of W. Colorado Boulevard and Michillinda Avenue. The site will have two access points, with one driveway off of each street frontage. Both streets have been designated and designed with the capacity to accommodate both normal public vehicular travel and emergency vehicles. Additionally, the project is expected to generate less traffic than the previous use. Thus, the adjacent streets are adequate in width and pavement type to carry the traffic that would be generated by the proposed facility and to accommodate emergency vehicle access.

**c. Public protection services (e.g., fire protection, police protection, etc.).**

**Facts to Support This Finding:** The construction of the senior assisted living care facility will comply with the Building and Fire Codes, and all other applicable regulations to ensure the safety of the residents and facilitate emergency services. As part of the environmental review process, the Addendum to the Initial Study/Mitigated Negative Declaration determined that Fire and Police protection services can handle the demand for the proposed senior assisted living care facility.

**d. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.).**

**Facts to Support This Finding:** It has been determined that the existing infrastructure and public utilities can handle the demand for the proposed senior assisted living care facility, and no upgrades are required. The proposed project will also comply with the Low Impact Development (LID) requirements for stormwater discharge through the implementation of a modular wetland on site.

**4. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.**

**Facts to Support This Finding:** The proposed senior facility is not expected to be detrimental to the public health or welfare, or the surrounding residential and commercial properties. The proposed senior assisted living care facility has been designed to be functionally suitable for the proposed site and be sensitive to the privacy and impact on the adjacent residential properties. The project includes setbacks that exceed the minimum requirement and a landscape and parking buffer. In support of maintaining privacy between the neighboring residential properties, the existing large trees along the perimeter of the site will be kept. Additionally, most of the units on the upper floors of the south side of the facility do not face the adjacent residential properties. Therefore, the project has incorporated design elements to provide added privacy to the neighbors. The proposed senior assisted living care facility is expected to generate less trips than the previous restaurant use on the site and will have more than the minimum required parking. Traffic in the surrounding area is not expected to be impacted by the use. The construction of the project will meet all Building and Fire Codes, and all other applicable regulations. Therefore, the proposed project will not adversely affect the public in general nor will it impact the uses in the vicinity and zone in which the property is located.

### Architectural Design Review

Section 9107.19.050(F) of the Development Code requires that for an Architectural Design Review to be granted, it must be found that all of the following prerequisite findings can be satisfied:

**1. The proposed development is in compliance with all applicable development standards and regulation in the Development Code.**

**Facts to Support This Finding:** The proposed senior assisted living care facility is in compliance with all of the applicable development standards for the C-G zone, such as the maximum height, setbacks, and parking. The revised project proposes a Floor Area Ratio (FAR) of 0.88. The revised project is a senior housing development under the State's Density Bonus Law and is entitled to exceed the otherwise maximum FAR, which would physically preclude construction of the revised project to the maximum allow residential density under the General Plan and Zoning. Therefore, the revised project meets the intent of this finding.

**2. The proposed development is consistent in the objectives and standards of the applicable Design Guidelines.**

**Facts to Support This Finding:** The proposed senior assisted living care facility is designed in the Traditional/Cape Cod architectural style. The design contains architectural features and materials that are commonly found within the proposed architectural styles. The proposed design provides varied massing and materials and articulation on each of the building façades to help break up the building size which is encouraged by the Design Guidelines. The development also considers the privacy and site layout guidelines to ensure that there are minimal impacts on the surrounding properties. Therefore, the project has been designed to be consistent with the Design Guidelines.

**3. The proposed development is compatible in terms of scale and aesthetic design with surrounding properties and developments.**

**Facts to Support This Finding:** The building was strategically placed away from residential properties to the east and south to minimize any potential impacts to the adjacent residential properties and was pushed back from the streets to maintain a comparable streetscape with the residential properties. The overall design has a balanced and aesthetically pleasing design that will complement the surrounding residential properties in the general vicinity. The use, although commercial in nature, will provide more of a residential type of use and will be less commercially active than other potential developments that could be developed on this site. The proposed design will enhance the overall streetscape, as it provides a transition from the commercial corridor to the west of the site to the residential neighborhoods to the east. The location of the project on the southeastern corner of W. Colorado Boulevard and Michillinda Avenue also provides a suitable focal point as an entryway to the City.

**4. The proposed development will have an adequate and efficient site layout in terms of access, vehicular circulation, parking, and landscaping.**

**Facts to Support This Finding:** The site, being a corner lot, will have two points of access, with one driveway from W. Colorado Boulevard and another driveway from Michillinda Avenue. The two access points will assist in providing ease of circulation on the lot along with the drive aisles on site which meet the minimum 25'-0" width required for two-way traffic. Parking will be provided along all four sides of the building and a total of 70 parking spaces are being provided despite the code only requiring 38 spaces. Additionally, the lot will retain much of the existing landscaping along the perimeters of the property in supplying screening to the adjacent residential neighbors, which consist of large trees and hedging, and new pockets of landscaping will be introduced around the building to enhance the architectural design of the building.

**5. The proposed development will be in compliance with all of the applicable criteria identified in Section 9107.19.040(C.5).**

**Facts to Support This Finding:** All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Deputy Development Services Director, Fire Marshal, and Public Works Services Director, or their respective designees. Additionally, the proposed development will be in compliance with the General Plan, Development Code, Density Bonus law for senior housing developments, the City's Design Guidelines, and all other applicable City regulations.

## **ENVIRONMENTAL ASSESSMENT**

On August 18, 2020, the City Council adopted a Mitigated Negative Declaration (MND) for the Approved Project – The Artis Senior Living Project. An Addendum to the adopted MND for The Ivy Arcadia was prepared to consider the environmental impacts of the revised project compared to those of the approved project, and in accordance with the requirements of California Environmental Quality Act (CEQA) and the CEQA Guidelines. As with the Approved Project, the Revised Project would be required to comply with all the mitigation measures identified in the adopted 2020 MND. There are no design features included within the Revised Project that would suggest that these mitigation measures would not be sufficient to address any potentially significant impact that would arise from the implementation of the Revised Project. As such, there are no changes to the circumstances, and implementation of the Revised Project would not result in any new significant or substantially more severe environmental impacts that would affect the determination of less-than-significant impact and less-than-significant impact with mitigation in the adopted 2020 MND – Refer to Attachment No. 5.

## **PUBLIC NOTICE/COMMENTS**

A public hearing notice for this item was posted at the City Clerk's Office, City Council Chambers, the Arcadia Library, the City's website, and in the Arcadia Weekly on May 2, 2024. It was also mailed to the property owners located within 300 feet of the subject property. As of May 10, 2024, no comments were received regarding this project.

The Applicant also presented the project to the Lower Rancho Homeowners Association Architectural Review Board (ARB) on March 21, 2024. The ARB was pleased with Oakmont's team and their expertise in senior living management, and they were satisfied with the building's design and its height.

During the notification period, Staff did receive one concern from the property owner at 545 N. Altura Road regarding damage to their rear wall because of the mature trees that lies on the project site. Due to this concern, the Applicant intends to replace their wall, and possibly the entire eastern perimeter wall if they can obtain all the owner's approval. As a result, a condition of approval has been added that the Applicant shall file a separate permit for the tree permit (removal or encroachment) with the Planning Division and it shall be processed administratively by the staff – refer to condition no. 5.

## **RECOMMENDATION**

It is recommended that the Planning Commission adopt Resolution No. 2146 recommending approval of Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09 for new 107,706 square foot, three-story building containing 100 units with 114 beds, and adopt the Addendum to the approved Mitigated Negative Declaration, subject to the following conditions of approval:

1. The project shall be developed and maintained by the Property Owner/Applicant in a manner that is consistent with the plans submitted and conditionally approved for Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09, subject to the satisfaction of the Deputy Development Services Director or designee.
2. The Property Owner/Applicant shall submit an official ALTA survey of the property to the City prior to submitting plans into Building Services for plan-check. The City shall retain all access and other rights over the sanitary sewer easement and storm drain easement that are located on and under the subject property, and the Property Owner/Applicant shall make any adjustment, modifications, and/or abandon the sewer line in its development of the property, or amendments to current easement of record, deemed by the City to reasonably necessary for the City to maintain such infrastructure and access. All new or existing manholes to remain on the site as part of the new development shall be within a paved area. Final placement of the manholes shall be subject to review and approval of the Public Works Department. Any agreement that is required by the City to allow the development to occur over the easements shall be prepared by the Property Owner/Applicant and shall be subject to approval by the City Attorney prior to recordation in the Los Angeles County Recorder's Office. For purposes of the City Attorney review of any such

document, the Property Owner/Applicant shall submit to the City a deposit of \$5,000, of which any funds remaining after review and approval by the City shall be returned to the Property Owner/Applicant.

3. Prior to the issuance of the Certificate of Occupancy, the Property Owner/ Applicant shall submit to Planning Services a copy of the form of lease or occupancy agreement that will be utilized for the proposed senior living facility. The form of such agreement must require all future residents to acknowledge the potential health risk associated with living within 500 feet of a freeway. Such acknowledgment shall be placed in all such future agreements for the senior living facility.
4. The Property Owner/Applicant shall comply with all the tree protection measures in the Arborist Report that was prepared by a Certified Arborist, dated April 2024 to ensure that all 16 protected trees will not be harm or impacted by any construction activities. If any of the protected trees do not survive prior to issuance of a Certificate of Occupancy from the Building Division, the tree shall be replaced and the Deputy Development Services Director or designee has the discretion to approve the tree size and its location.
5. The replacement of the eastern perimeter wall (a portion or the entire wall) and any tree removal or encroachment shall be subject to review and approval by the Planning Division prior to issuance of a building permit.
6. The Property Owner/Applicant shall submit a haul route map and construction staging plan to Planning Services prior to issuance of a Demolition permit.
7. The Property Owner/Applicant shall be responsible for the repair of all damage to public improvements in the public right-of-way resulting from construction related activities, including, but not limited to, the movement and/or delivery of equipment, materials, and soils to and/or from the site. The need for such repair shall be determined by the Deputy Development Services Director, the Public Works Services Director, City Engineer, or designees, during construction and up until issuance of a Certificate of Occupancy.
8. Accessible routes shall be provided from the public sidewalk, any public transportation stops, and the trash enclosure to an accessible building entrance.
9. An international symbol of accessibility (ISA) shall be provided at the head end of the accessible electric vehicle (EV) charging spaces. A 30" by 48" clear floor space shall be provided at the EV charger to approach and operate the charger.
10. The plans that are submitted to Building Services for plan-check shall comply with the latest adopted edition of the following codes as applicable:
  - a. California Building Code (CBC)
  - b. California Electrical Code
  - c. California Mechanical Code

- d. California Plumbing Code
  - e. California Energy Code
  - f. California Fire Code
  - g. California Green Building Standards Code
  - h. California Existing Building Code
  - i. Arcadia Municipal Code
11. Prior to the issuance of a building permit from Building Services, the Property Owner/Applicant shall irrevocably dedicate to the City 4'-0" along the frontage of Colorado Boulevard and Michillinda Avenue for a total parkway width of 12'-0", as measured from curb to property line. A corner cutback at Michillinda Avenue/Colorado Boulevard is also required to accommodate an ADA curb per Caltrans standard A88A. Both dedications shall be subject to review and approval by the City Engineer.
  12. The Property Owner/Applicant shall be required to remove and replace the existing sidewalk, curb, and gutter along the property frontage of Michillinda Avenue and Colorado Boulevard. Red curb locations shall be repainted after construction of the new curb.
  13. Prior to the issuance of the Certificate of Occupancy by Building Services, the Property Owner/Applicant shall modify the median island left turn pocket to accommodate the driveway approach on W. Colorado Boulevard in accordance with plans which shall be subject to approval by the City Engineer, or designee.
  14. The Property Owner/Applicant shall be required to remove the existing driveway approaches and construct new driveway approaches per City Standards with ADA access around each approach.
  15. A Low Impact Development (LID) plan is required for this development. It shall comply with the Los Angeles County Department of Public Works 2014 LID standard manual, and the measurements must be shown on the grading plan.
  16. Coordinate with the utility companies to underground all utilities, including but not limited to, cable television, telephone, and electrical systems. If above ground utilities are being proposed, the utilities must be placed outside of the public right-of-way, on private property, and reviewed by the City Engineer prior to installation.
  17. The Property Owner/Applicant shall coordinate with the Public Works Services Department on the replacement and/or protection of street trees prior to issuance of a grading permit from Building Services.
  18. The Property Owner/Applicant shall make its fair share payment into the cost of a Citywide Standard of Cover Risk Assessment Survey to evaluate Fire resources Citywide. The fee shall be determined by the Fire Chief and the fee shall be collected prior to issuance of a building permit from Building Services.

19. The building shall be fully fire sprinklered per the City of Arcadia Fire Department Commercial Sprinkler Standard. The fire sprinkler system shall be monitored by a UL listed central station. Notification appliances shall be provided in all common areas. The dwelling units shall be provided with the ability to install visual appliances.
20. Single station smoke alarms shall be provided in all the dwelling units. Carbon monoxide alarms shall also be provided if gas fueled appliances are being used. Any commercial cooking hoods shall be protected by an automatic extinguishing system and the system shall be monitored by a fire alarm system.
21. An on-site minimum 26-foot wide fire lane extending from Michillinda Avenue to Colorado Boulevard shall be provided.
22. The Property Owner/Applicant shall install three (3) new fire hydrants. The locations shall be depicted on the site plan and shall be subject to review and approval by the Fire Marshall prior to issuance of a building permit for the project. The fire hydrants shall be placed at the following locations:
  - a. A public hydrant on Michillinda Avenue located adjacent to the driveway entry.
  - b. A public hydrant on Colorado Boulevard located adjacent to the driveway entry.
  - c. A private hydrant on the east side of the property.
23. A Two-Way Communication system shall be provided per the Fire Department.
24. All passenger elevators shall be EMS capable.
25. Any use of delayed egress systems shall be per CBC 1010.
26. Refuge areas shall be provided within each smoke compartment per CBC 420.6.2.
27. Low-level exit signage shall be provided in all fire rated exit corridors.
28. Knox boxes shall be provided at the front entry and exterior doors at the southeast and southwest stairwells. Stairwell doors shall be keyed to provide for exterior emergency access.
29. Minimum 2A:10BC fire extinguishers shall be provided in all common areas. The maximum travel distance to a fire extinguisher shall be 75 feet.
30. In order to verify the required water service size for the project, the Property Owner/Applicant shall submit to the Public Works Services Department calculations for the maximum commercial use demand and maximum fire demand prior to the issuance of a building permit. Fire protection requirements shall be as stipulated by the Arcadia Fire Department and shall be conformed to Arcadia Standard Plan. A separate fire service with Double Check Detector Assembly (DCDA) shall be installed for fire service required.

31. The Property Owner/Applicant shall provide separate water services and meters for the facility and outdoor irrigation system. A reduced pressure backflow device shall be installed for each water service.
32. Prior to the issuance of a building permit, the Property Owner/Applicant shall submit a Water Meter Permit Application to the Public Works Services Department.
33. The Property Owner/Applicant shall provide a new water service installation. Installation shall be according to the specifications of the Public Works Services Department, Engineering Division. Abandonment of existing water services, if necessary, shall be completed by the Property Owner/Applicant, according to Public Works Services Department, Engineering Section specifications.
34. The Property Owner/Applicant shall connect to the Los Angeles County sewer line on Michillinda Avenue. The Property Owner/Applicant shall coordinate with the Los Angeles County Sanitation Districts (LACSD) for connection.
35. The Property Owner/Applicant shall abandon the entire easement portion of the existing sewer line between the project site and Altura Road.
36. Prior to the issuance of a grading permit, the Property Owner/Applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) and shall obtain a Waste Discharge Identification (WDID) number from the State.
37. The trash enclosure area shall be installed by the Property Owner/Applicant and shall comply with the following:
  - a. A minimum interior width of 9'-7" in order to accommodate three (3) 3-yard bin.
  - b. A minimum roof clearance of 10'-0" to allow the bin lids to open completely.
  - c. Shall include a trash, recycling and organics recycling bins.
  - d. Provide a minimum of one (1) foot clearance around the trash bin/recycling bin.
38. The Property Owner/Applicant shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures, all to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Deputy Development Services Director. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
39. To the maximum extent permitted by law, Applicant must defend, indemnify, and hold the City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents,

employees, and attorneys of the City (“Indemnitees”) harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant’s activities in connection with ADR 23-13 and CUP 23-09 (“Project”) on the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant’s contractors, agents, tenants, employees or any other persons acting on Applicant’s behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will notify the Applicant of the claim, action, or proceedings and will cooperate in the defense of the matter. The Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days’ notice from the City of any such action, the Applicant shall provide to the City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. The City may draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from the City that the deposit has fallen below the initial amount, Applicant/Property Owner shall replenish the deposit each and every time in order for City’s legal team to continue working on the matter. The City shall only refund to the Applicant/Property Owner any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, at the request of the Applicant or not.

40. Approval of Architectural Design Review No. ADR 23-13 and Conditional Use Permit No. CUP 23-09 shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The Acceptance Form to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

### **Mitigation Measures as Conditions of Approval**

The following conditions are found in the Mitigation Monitoring and Reporting Program (MMRP). They are recorded here to facilitate review and implementation. More information on the timing and responsible parties for these mitigation measures are detailed in the MMRP.

### **Biological Resources**

41. **BIO-1:** Tree removal shall not occur during the local nesting season (February 1 to September 15 for nesting birds and February 1 to June 30 for nesting raptors), to the extent practicable. If any construction or tree removal occurs during the nesting season, a nesting bird survey shall be conducted by a qualified biologist prior to commencement of grading or removal of any trees on the property. If the biologist determines that nesting birds are present, restrictions may be placed on construction activities in the vicinity of the nest observed until the nest is no longer active, as determined by the biologist based on the location of the nest, type of the construction activities, the existing human activity in the vicinity of the nest, and the sensitivity of the nesting species. Grading and/or construction may resume in this area when a qualified biologist has determined that the nest is no longer occupied, and all juveniles have fledged. This measure shall be implemented to the satisfaction of the Deputy Development Services Director or Designee.
  
42. **BIO-2:** Prior to issuance of a building permit, the applicant shall demonstrate that the Project landscaping plan and planned construction are consistent with the City's Tree Protection Ordinance and the Protected Tree Study. The tree protection activities shall include the following:
  - a. Prior to demolition, the contractor and consulting arborist shall meet on-site to make sure tree protection zones are established around all protected trees to be preserved and to review the goals for the tree protection plan.
  - b. Tree protection zone fences shall be placed around each protected tree. Fences shall be at least 4 feet tall and constructed of chain-link fencing secured on metal posts. Where fences are not feasible (e.g., in haul routes or areas where workers will need frequent access), soil and root protection material can be installed.
  - c. The contractor shall maintain the fences and/or soil protection material throughout the completion of the Project. No staging of materials or equipment or washing out shall occur within the fenced protected zones.
  - d. Trees should be irrigated throughout the year. A deep watering that provides good soil moisture to a depth of 16 inches is optimal. The trees shall be deeply water once every 21 to 28 days during the summer and fall seasons when rain is unlikely.
  - e. For Tree No. 49, a protected deodar cedar located on the Project Site's Colorado Boulevard frontage, the deadwood shall be removed to prevent the dead branches from falling. However, no reduction pruning in the live crown of the tree is required. The tree shall be monitored for its health during the life of the Project, and irrigation shall occur at the same frequency of the other trees.

- f. The arborist shall monitor a few critical phases of the Project, including pre-demolition, to direct the installation of protective fences and soil protection measures; grading and excavation; any utility or drainage trenching that is required within a tree protection zone; and a final evaluation during the landscape installation phase.
- g. Additional construction best practices described in the Protected Tree Report shall be implemented.

### **Cultural Resources**

43. **CUL-1:** Treatment of previously unidentified archaeological deposits: If suspected prehistoric or historical archaeological deposits are discovered during construction, all work within 25 feet of the discovery shall be redirected and a Secretary of the Interior Professional Qualified archaeologist and/or Registered Professional Archaeologist shall assess the situation and make recommendations regarding the treatment of the discovery. Impacts to significant archaeological deposits shall be avoided if feasible, but if such impacts cannot be avoided, the deposits shall be evaluated for their eligibility for the California Register of Historical Resources. If the deposits are not eligible, no further protection of the find is necessary. If the deposits are eligible, impacts shall be avoided or mitigated. Acceptable mitigation may consist of, but is not necessarily limited to, systematic recovery and analysis of archaeological deposits, recording the resource, preparation of a report of findings, and accessioning recovered archaeological materials at an appropriate curation facility.

### **Geology and Soils**

44. **GEO-1:** If paleontological resources (fossils) are discovered during Project grading, work shall be halted in that area until a qualified paleontologist can be retained to assess the significance of the find. The Project paleontologist shall monitor remaining earth-moving activities at the Project Site and shall be equipped to record and salvage fossil resources that may be unearthed during grading activities. The paleontologist shall be empowered to temporarily halt or divert grading equipment to allow recording and removal of the unearthed resources. Any fossils found shall be evaluated in accordance with the CEQA Guidelines and offered for curation at an accredited facility approved by the City of Arcadia. Once grading activities have ceased or the paleontologist determines that monitoring is no longer necessary, monitoring activities shall be discontinued.

### **Noise**

45. **NOI-1:** Prior to issuance of a Grading Permit, the Project applicant shall demonstrate, to the satisfaction of the City of Arcadia Planning Division, that the Project complies with the following:
  - a. Construction contracts specify that all construction equipment, fixed or mobile, shall be equipped with properly operating and maintained mufflers and other State-required noise attenuation devices.

- b. The contractor shall provide evidence that a construction staff member will be designated as a noise disturbance coordinator and will be present on-site during construction activities. The noise disturbance coordinator shall be responsible for responding to any local complaints about construction noise. When a complaint is received, the noise disturbance coordinator shall notify the City within 24 hours of the complaint and determine the cause of the noise complaint (e.g., starting too early or bad muffler) and shall implement reasonable measures to resolve the complaint, as deemed acceptable by the Deputy Development Services Director (or designee). All notices that are sent to residential units immediately surrounding the construction site and all signs posted at the construction site shall include the contact name and the telephone number for the noise disturbance coordinator. All necessary signage and notices shall be posted on or sent to residential units immediately surrounding the construction site no less than two weeks prior to the start of noise-generating construction activities on the Project Site.
- c. During construction, stationary construction equipment shall be placed such that emitted noise is directed away from sensitive noise receivers.
- d. Prior to issuance of any Grading or Building Permit, the Project applicant shall demonstrate to the satisfaction of the Deputy Development Services Director (or designee) that construction noise reduction methods shall be used where feasible. These reduction methods may include shutting off idling equipment, installing temporary acoustic barriers around stationary construction noise sources, maximizing the distance between construction equipment staging areas and occupied residential areas, and utilizing electric air compressors and similar power tools.
- e. Construction haul routes shall be designed to avoid noise-sensitive uses (e.g., residences and convalescent homes) to the extent feasible.

### **Tribal Cultural Resources**

46. **TCR-1:** The Project Applicant shall be required to retain and compensate for the services of a tribal monitor/consultant, who is both approved by the Gabrieleño Band of Mission Indians-Kizh Nation Tribal Government and listed under the Native American Heritage Commission's (NAHC) Tribal Contact list for the area of the project location. This list is provided by the NAHC. The monitor/consultant shall only be present on-site during the construction phases that involve ground disturbing activities. Ground disturbing activities are defined by the Gabrieleño Band of Mission Indians-Kizh Nation as activities that may include, but are not limited to, pavement removal, pot-holing or auguring, grubbing, tree removals, boring, grading, excavation, drilling, and trenching, within the Project area. The tribal Monitor/consultant shall complete daily monitoring logs that will provide descriptions of the day's activities, including construction activities, locations, soil, and any cultural materials identified. The on-site monitoring shall end when the Project Site grading and excavation activities are completed or when the tribal representatives and monitor/consultant have indicated that the site has a low potential for impacting tribal cultural resources.

47. **TCR-2:** Upon discovery of any tribal cultural or archaeological resources, construction activities shall cease in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by Project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant approved by the Gabrieleño Band of Mission Indians-Kizh Nation. If the resources are Native American in origin, the Gabrieleño Band of Mission Indians-Kizh Nation shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the Project Site while evaluation and, if necessary, additional protective mitigation takes place (CEQA Guidelines Section 15064.5 [f]). If a resource is determined by the qualified archaeologist to constitute a “historical resource” or “unique archaeological resource,” time allotment and funding sufficient to allow for implementation of avoidance measures, or appropriate mitigation, must be available. The treatment plan established for the resources shall be in accordance with CEQA Guidelines Section 15064.5(f) for historical resources. For unique archaeological resources, preservation in place is the preferred manner of treatment in accordance with PRC Section 21083.2(b). If preservation in place is not feasible, treatment may include implementation of archaeological data recovery excavations to remove the resource along with subsequent laboratory processing and analysis. All tribal cultural resources shall be returned to the tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County or the Fowler Museum, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the tribe or a local school or historical society in the area for educational purposes.
48. **TCR-3:** Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in PRC 5097.98, are also to be treated according to this statute. Health and Safety Code 7050.5 dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and excavation halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the NAHC and PRC 5097.98 shall be followed.

Upon discovery of human remains, the tribal and/or archaeological monitor/consultant/consultant shall immediately divert work at minimum of 150 feet and place an exclusion zone around the discovery location. The monitor/consultant(s) shall then notify the tribe, the qualified lead archaeologist, and the construction manager who will call the coroner. Work shall continue to be diverted while the coroner determines whether the remains are human and subsequently Native American. The discovery is to be kept confidential and secure to prevent any further disturbance. If the finds are determined to be Native American, the coroner shall notify the NAHC as mandated by State law, who will then appoint a Most Likely

Descendent (MLD). If the Gabrieleño Band of Mission Indians – Kizh Nation is designated MLD, the Koo-nas-gna Burial Policy shall be implemented. To the tribe, the term “human remains” encompasses more than human bones. In ancient, as well as, historic times, tribal traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects.

Prior to the continuation of ground disturbing activities, the land owner shall arrange a designated site location within the footprint of the Project for the respectful reburial of the human remains and/or ceremonial objects. In the case where discovered human remains cannot be fully documented and recovered on the same day, the remains shall be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard should be posted outside of working hours. The tribe shall make every effort to recommend diverting the Project and keeping the remains in situ and protected. If the Project cannot be diverted, it may be determined that burials shall be removed. The tribe shall work closely with the qualified archaeologist to ensure that the excavation is treated carefully, ethically and respectfully. If data recovery are approved by the tribe, documentation shall be taken which includes at a minimum detailed descriptive notes and sketches. Additional types of documentation shall be approved by the tribe for data recovery purposes. Cremations shall either be removed in bulk or by means as necessary to ensure completely recovery of all material. If the discovery of human remains includes four or more burials, the location is considered a cemetery and a separate treatment plan shall be created. Once complete, a final report of all activities is to be submitted to the tribe and the NAHC. The tribe does not authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains. Each occurrence of human remains and associated funerary objects shall be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony shall be removed to a secure container on site if possible. These items shall be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the Project Site but at a location agreed upon between the tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.

49. **TCR-4:** Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel must meet the Secretary of Interior’s Standards for archaeology and have a minimum of 10 years of experience as a principal investigator working

with Native American archaeological sites in Southern California. The qualified archaeologist shall ensure that all other personnel are appropriately trained and qualified.

### **PLANNING COMMISSION ACTION**

It is recommended that the Planning Commission adopt Resolution No. 2146 recommending that the City Council adopt the Addendum to the adopted Mitigated Negative Declaration and approve Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09 approving the revised project, "The Ivy Arcadia" for a new three-story senior assisted living care facility with 100 units and 114 beds at 1150 W. Colorado Boulevard.

If any Planning Commissioner or other interested party has any questions or comments regarding this matter prior to the May 14, 2024 hearing, please contact Lisa Flores, Deputy Director at (626) 574-5445, or by email at [lflores@ArcadiaCA.gov](mailto:lflores@ArcadiaCA.gov).

Approved:



Lisa L. Flores  
Deputy Development Services Director

- Attachment No. 1: Resolution No. 2146
- Attachment No. 2: Aerial Photo and Zoning Information and Photos of the Subject Property
- Attachment No. 3: Architectural Plans and Renderings
- Attachment No. 4: Arborist Report
- Attachment No. 5: Addendum to the Adopted Initial Study/Mitigated Negative Declaration (MND) and the Adopted MND. Technical studies to the Adopted MND are available at [www.arcadiaca.gov/significantprojects](http://www.arcadiaca.gov/significantprojects)

# **Attachment No. 1**

Resolution No. 2146

RESOLUTION NO. 2146

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, RECOMMENDING THAT THE CITY COUNCIL APPROVE ARCHITECTURAL DESIGN REVIEW NO. ADR 23-13 WITH A DENSITY BONUS AND CONDITIONAL USE PERMIT NO. CUP 23-09 APPROVING THE REVISED "THE IVY ARCADIA" FOR A NEW THREE-STORY SENIOR ASSISTED LIVING CARE FACILITY 1150 W. COLORADO BOULEVARD

WHEREAS, on November 9, 2023, applications for Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09 were filed by O&I Development, LLC ("Applicant") on behalf of Artis Senior Living, LLC ("Property Owner") to revise the project that was approved by the City Council on August 18, 2020 (Resolution No. 2372) which was for an assisted living care facility (known as Artis Senior Living Project) or the "Approved Project." The Revised Project, known as "The Ivy Arcadia" is for a two-story development that is approximately 107,706 square feet with 100 units and 114 beds at 1150 W. Colorado Boulevard. The Revised Project also includes a density bonus to allow a Floor Area Ratio (FAR) of 0.88, which exceeds the maximum permitted FAR of .50. The Revised Project is a senior housing development under the State's Density Bonus Law and is entitled to exceed the otherwise maximum FAR since it would physically preclude construction of the Revised Project under the General Plan and Zoning. The Ivy Arcadia is referred to as the "Revised Project"; and

WHEREAS, on August 18, 2020, the City Council adopted a Mitigated Negative Declaration (MND) for the Approved Project. An Addendum to the adopted MND for The Ivy Arcadia was prepared to consider the environmental impacts of the Revised Project compared to those of the approved project, and in accordance with the requirements of

California Environmental Quality Act (CEQA) and the CEQA Guidelines. As with the Approved Project, the Revised Project would be required to comply with all the mitigation measures identified in the adopted 2020 MND. There are no design features included within the Revised Project that would suggest that these mitigation measures would not be sufficient to address any potentially significant impact that would arise from the implementation of the Revised Project. As such, there are no changes to the circumstances, and implementation of the Revised Project would not result in any new significant or substantially more severe environmental impacts that would affect the determination of less-than-significant impact and less-than-significant impact with mitigation in the adopted 2020 MND; and

WHEREAS, on May 14, 2024, a duly noticed public hearing was held before the Planning Commission on said Project, at which time all interested persons were given full opportunity to be heard and to present evidence.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF ARCADIA, CALIFORNIA, HEREBY RESOLVES AS FOLLOWS:

SECTION 1. The factual data submitted by the Development Services Department in the staff report dated May 14, 2024, are true and correct.

SECTION 2. This Commission finds that based upon the entire record, pursuant to Sections 9107.09.050(B) and 9107.19.050(F) of the Development Code, all of the following findings are satisfied:

**Conditional Use Permit**

1. The Revised Project is consistent with the General Plan and any applicable specific plan; and is allowed within the applicable zone, subject to the granting of a

Conditional Use Permit, and complies with all other applicable provisions of the Development Code and the Municipal Code.

FACT: Approval of the Revised Project will be consistent with the Commercial General Plan Land Use Designation. The site is zoned General Commercial (C-G) and pursuant to the Arcadia Development Code Section 9102.03.020, Table 2-8, allows a Large-Residential Care Facility in the General Commercial C-G zone subject to the review and approval of a Conditional Use Permit. The underlying zone allows for a broad array of commercial uses that are both neighborhood and citywide serving. The Revised Project will allow a business that can serve the aging population of the City, specifically those with Alzheimer's disease and related memory delays. Aside from the FAR, the Revised Project complies with all the development standards of the General Commercial C-G zone. The Revised Project will not adversely affect the comprehensive General Plan, and is consistent with the following General Plan goals and policies:

- Goal LU-1: A balance of land uses that preserves Arcadia status as a Community of Homes and a community of opportunity.
- Policy LU-1.1: Promote new infill and redevelopment projects that are consistent with the City's land use and compatible with surrounding existing uses.
- Policy LU-1.2: Promote new uses of land that provide diverse economic, social, and cultural opportunities, and that reinforce the characteristics that make Arcadia a desirable place to live.
- Policy LU-1.5: Require that effective buffer areas be created between land uses that are of significantly different character or that have operating characteristics which could create nuisances along common boundary.

2. The design, location, size, and operating characteristics of the proposed activity will be compatible with the existing and future land uses in the vicinity.

FACT: The Revised Project provides a transition between the commercial businesses in the Los Angeles County area to the west of the site and the adjacent residential properties to the east and south as a senior assisted living use. The Revised Project will be setback more than the minimum required from the adjacent residential properties and will have a parking and landscape buffer between the facility and the residential uses. The Revised Project, being more of a residential use, is not expected to negatively affect the adjacent properties. Parking for the project is above the minimum required and is expected to be an adequate amount for the site due to the nature of the use which would not consist of many residents that drive. Additionally, transportation services will be provided to the residents. Additionally, the Revised Project will result in an overall reduction of vehicular traffic as compared to the existing use and most other commercial uses that could be considered for the property. The project site is adequate in size and location to accommodate the revised development. Thus, the Revised Project will be compatible with the existing and future uses in the vicinity.

3. The site is physically suitable in terms of:

a. Its design, location, shape, size, and operating characteristics of the proposed use in order to accommodate the use, and all fences, landscaping, loading, parking, spaces, walls, yards, and other features required to adjust the use with the land and uses in the neighborhood.

FACT: The site measures approximately 2.82 acres and is large enough to physically support the Revised Project. The current utility infrastructure on site is more

than capable of accommodating the proposed use. Landscaping is being maintained along the perimeter of the lot and various new pockets of landscaping will be introduced around the building site. The Revised Project will have two points of access on to the lot and will also provide more than the required amount of parking. The Revised Project will comply with all of the regulations within the Development Code except for the FAR which is allowed to exceed the maximum because of the density bonus for senior housing development. Therefore, the site is adequate in size to accommodate the Revised Project.

b. Streets and highways adequate in width and pavement type to accommodate public and emergency vehicle (e.g., fire and medical) access;

FACT: The Revised Project will be located at the southeast corner of W. Colorado Boulevard and Michillinda Avenue. The site will have two access points, with one driveway off of each street frontage. Both streets have been designated and designed with the capacity to accommodate both normal public vehicular travel and emergency vehicles. Additionally, the Revised Project is expected to generate less traffic than the previous use. Thus, the adjacent streets are adequate in width and pavement type to carry the traffic that would be generated by the Revised Project and to accommodate emergency vehicle access.

c. Public protection services (e.g., fire protection, police protection, etc.); and

FACT: The construction of the senior assisted living care facility will comply with the Building and Fire Codes, and all other applicable regulations to ensure the safety of the residents and facilitate emergency services. As part of the environmental review process, the Addendum to the Initial Study/Mitigated Negative Declaration determined that Fire and Police protection services can handle the demand for the Revised Project.

d. The provision of utilities (e.g., potable water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.).

FACT: It has been determined that the existing infrastructure and public utilities can handle the demand for the Project, and no upgrades are required. The Project will also comply with the Low Impact Development (LID) requirements for stormwater discharge through the implementation of a modular wetland on site.

4. The measure of site suitability shall be required to ensure that the type, density, and intensity of use being proposed will not adversely affect the public convenience, health, interest, safety, or general welfare, constitute a nuisance, or be materially injurious to the improvements, persons, property, or uses in the vicinity and zone in which the property is located.

FACT: The Revised Project is not expected to be detrimental to the public health or welfare, or the surrounding residential and commercial properties. The Revised Project has been designed to be functionally suitable for the site and be sensitive to the privacy and impact on the adjacent residential properties. The Revised Project includes setbacks that exceed the minimum requirement and a landscape and parking buffer. In support of maintaining privacy between the neighboring residential properties, the existing large trees along the perimeter of the site will be kept. Additionally, most of the units on the upper floors of the south side of the facility do not face the adjacent residential properties. Therefore, the Revised Project has incorporated design elements to provide added privacy to the neighbors. The Revised Project is expected to generate less trips than the previous restaurant use on the site and will have more than the minimum required parking. Traffic in the surrounding area is not expected to be impacted by the use. The construction of the

project will meet all Building and Fire Codes, and all other applicable regulations. Therefore, the Revised Project will not adversely affect the public in general nor will it impact the uses in the vicinity and zone in which the property is located.

### **Architectural Design Review**

5. The proposed development is in compliance with all applicable development standards and regulation in the Development Code.

FACT: The Revised Project is in compliance with all of the applicable development standards for the C-G zone, such as the maximum height, setbacks, and parking. The Revised Project proposes a Floor Area Ratio (FAR) of .88. The Revised Project is a senior housing development under the State's Density Bonus Law and is entitled to exceed the otherwise maximum FAR, which would physically preclude construction of the Revised Project to the maximum allow residential density under the General Plan and Zoning. Therefore, the Revised Project meets the intent of this finding.

6. The proposed development is consistent in the objectives and standards of the applicable Design Guidelines.

FACT: The Project is designed in the Traditional/Cape Cod architectural style. The design contains architectural features and materials that are commonly found within the revised architectural styles. The revised design provides varied massing and materials and articulation on each of the building façades to help break up the building size which is encouraged by the Design Guidelines. The Revised Project also takes into account the privacy and site layout guidelines to ensure that there are minimal impacts on the surrounding properties. Therefore, the Revised Project has been designed to be consistent with the Design Guidelines.

7. The proposed development is compatible in terms of scale and aesthetic design with surrounding properties and developments.

FACT: The building was strategically placed away from residential properties to the east and south to minimize any potential impacts to the adjacent residential properties and was pushed back from the street to maintain a comparable streetscape with the residential properties. The overall design has a balanced and aesthetically pleasing design that will complement the surrounding residential properties in the general vicinity. The use, although commercial in nature, will provide more of a residential type of use and will be less commercially active than other potential developments that could be developed on this site. The revised design will enhance the overall streetscape, as it provides a transition from the commercial corridor to the west of the site to the residential neighborhoods to the east. The location of the Project on the southeastern corner of W. Colorado Boulevard and Michillinda Avenue also provides a suitable focal point as an entryway to the City.

8. The proposed development will have an adequate and efficient site layout in terms of access, vehicular circulation, parking, and landscaping.

FACT: The site, being a corner lot, will have two points of access, with one driveway from W. Colorado Boulevard and another driveway from Michillinda Avenue. The two access points will assist in providing ease of circulation on the lot along with the drive aisles on site which meet the minimum 25'-0" width required for two-way traffic. Parking will be provided along all four sides of the building and a total of 71 parking spaces are being provided despite the code only requiring 38 spaces. Additionally, the lot will retain much of the existing landscaping along the perimeters of the property in supplying screening to the adjacent residential neighbors, which consist of large trees and hedging, and new

pockets of landscaping will be introduced around the building to enhance the architectural design of the building.

9. The proposed development will be in compliance with all of the applicable criteria identified in Section 9107.19.040(C.5).

FACT: All City requirements regarding disabled access and facilities, occupancy limits, building safety, health code compliance, emergency equipment, environmental regulation compliance, and parking and site design shall be complied with by the property owner/applicant to the satisfaction of the Building Official, City Engineer, Deputy Development Services Director, Fire Marshal, and Public Works Services Director, or their respective designees. Additionally, the Revised Project will be in compliance with the General Plan, Development Code, Density Bonus law for senior housing developments, the City's Design Guidelines, and all other applicable City regulations.

SECTION 3. For the foregoing reasons, the Planning Commission recommends adoption of the Addendum to the Mitigated Negative Declaration in accordance with CEQA, and further recommends approval to the City Council of Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09, for a new senior assisted living care facility at 1150 W. Colorado Boulevard, subject to the conditions of approval attached hereto.

SECTION 4. The Secretary shall certify to the adoption of this Resolution.

[SIGNATURES ON THE NEXT PAGE]

Passed, approved and adopted this 14<sup>th</sup> day of May, 2024.

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Vincent Tsoi  
Chair, Planning Commission

ATTEST:

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Lisa L. Flores  
Secretary

APPROVED AS TO FORM:



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Michael J. Maurer  
City Attorney

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RESOLUTION NO. 2146

**Conditions of Approval**

1. The project shall be developed and maintained by the Property Owner/Applicant in a manner that is consistent with the plans submitted and conditionally approved for Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09, subject to the satisfaction of the Deputy Development Services Director or designee.
2. Any exterior signs or monument signs are not a part of this approval and shall be subject to a separate sign permit.
3. The Property Owner/Applicant shall submit an official ALTA survey of the property to the City prior to submitting plans into Building Services for plan-check. The City shall retain all access and other rights over the sanitary sewer easement and storm drain easement that are located on and under the subject property, and the Property Owner/Applicant shall make any adjustment, modifications, and/or abandon the sewer line in its development of the property, or amendments to current easement of record, deemed by the City to reasonably necessary for the City to maintain such infrastructure and access. All new or existing manholes to remain on the site as part of the new development shall be within a paved area. Final placement of the manholes shall be subject to review and approval of the Public Works Department. Any agreement that is required by the City to allow the development to occur over the easements shall be prepared by the Property Owner/Applicant and shall be subject to approval by the City Attorney prior to recordation in the Los Angeles County Recorder's Office. For purposes of the City Attorney review of any such document, the Property Owner/Applicant shall submit to the City a deposit of \$5,000, of which any funds remaining after review and approval by the City shall be returned to the Property Owner/Applicant.
4. Prior to the issuance of the Certificate of Occupancy, the Property Owner/ Applicant shall submit to Planning Services a copy of the form of lease or occupancy agreement that will be utilized for the assisted living care facility. The form of such agreement must require all future residents to acknowledge the potential health risk associated with living within 500 feet of a freeway. Such acknowledgment shall be placed in all such future agreements for the senior living facility.
5. The replacement of the eastern perimeter wall (a portion or the entire wall) and any tree removal or encroachment shall be subject to review and approval by the Planning Division prior to issuance of a building permit.
6. The Property Owner/Applicant shall submit a haul route map and construction staging plan to Planning Services prior to issuance of a demolition permit.

7. The Property Owner/Applicant shall be responsible for the repair of all damage to public improvements in the public right-of-way resulting from construction related activities, including, but not limited to, the movement and/or delivery of equipment, materials, and soils to and/or from the site. The need for such repair shall be determined by the Deputy Development Services Director, the Public Works Services Director, City Engineer, or designees, during construction and up until issuance of a Certificate of Occupancy.
8. Accessible routes shall be provided from the public sidewalk, any public transportation stops, and the trash enclosure to an accessible building entrance.
9. An international symbol of accessibility (ISA) shall be provided at the head end of the accessible electric vehicle (EV) charging spaces. A 30" by 48" clear floor space shall be provided at the EV charger to approach and operate the charger.
10. The plans that are submitted to Building Services for plan-check shall comply with the latest adopted edition of the following codes as applicable:
  - a. California Building Code (CBC)
  - b. California Electrical Code
  - c. California Mechanical Code
  - d. California Plumbing Code
  - e. California Energy Code
  - f. California Fire Code
  - g. California Green Building Standards Code
  - h. California Existing Building Code
  - i. Arcadia Municipal Code
11. Prior to the issuance of a building permit from Building Services, the Property Owner/Applicant shall irrevocably dedicate to the City approximately 4'-0" along the frontage of Colorado Boulevard and Michillinda Avenue for a total parkway width of 12'-0", as measured from curb to property line. A corner cutback at Michillinda Avenue/Colorado Boulevard is also required to accommodate an ADA curb per Caltrans standard A88A. Both dedications shall be subject to review and approval by the City Engineer.
12. The Property Owner/Applicant shall be required to remove and replace the existing sidewalk, curb, and gutter along the property frontage of Michillinda Avenue and Colorado Boulevard. Red curb locations shall be repainted after construction of the new curb.
13. Prior to the issuance of the Certificate of Occupancy by Building Services, the Property Owner/Applicant shall modify the median island left turn pocket to accommodate the driveway approach on W. Colorado Boulevard in accordance with plans which shall be subject to approval by the City Engineer, or designee.

14. The Property Owner/Applicant shall be required to remove the existing driveway approaches and construct new driveway approaches per City Standards with ADA access around each approach.
15. A Low Impact Development (LID) plan is required for this development. It shall comply with the Los Angeles County Department of Public Works 2014 LID standard manual, and the measurements must be shown on the grading plan.
16. Coordinate with the utility companies to underground all utilities, including but not limited to, cable television, telephone, and electrical systems. If above ground utilities are being proposed, the utilities must be placed outside of the public right-of-way, on private property, and reviewed by the City Engineer prior to installation.
17. The Property Owner/Applicant shall coordinate with the Public Works Services Department on the replacement and/or protection of street trees prior to issuance of a grading permit from Building Services.
18. The Property Owner/Applicant shall make its fair share payment into the cost of a Citywide Standard of Cover Risk Assessment Survey to evaluate Fire resources Citywide. The fee shall be determined by the Fire Chief and the fee shall be collected prior to issuance of a building permit from Building Services.
19. The building shall be fully fire sprinklered per the City of Arcadia Fire Department Commercial Sprinkler Standard. The fire sprinkler system shall be monitored by a UL listed central station. Notification appliances shall be provided in all common areas. The dwelling units shall be provided with the ability to install visual appliances.
20. Single station smoke alarms shall be provided in all the dwelling units. Carbon monoxide alarms shall also be provided if gas fueled appliances are being used. Any commercial cooking hoods shall be protected by an automatic extinguishing system and the system shall be monitored by a fire alarm system.
21. An on-site minimum 26-foot wide fire lane extending from Michillinda Avenue to Colorado Boulevard shall be provided.
22. The Property Owner/Applicant shall install three (3) new fire hydrants. The locations shall be depicted on the site plan and shall be subject to review and approval by the Fire Marshall prior to issuance of a building permit for the project. The fire hydrants shall be placed at the following locations:
  - a. A public hydrant on Michillinda Avenue located adjacent to the driveway entry.
  - b. A public hydrant on Colorado Boulevard located adjacent to the driveway entry.
  - c. A private hydrant on the east side of the property.
23. A Two-Way Communication system shall be provided per the Fire Department.

24. All passenger elevators shall be EMS capable.
25. Any use of delayed egress systems shall be per CBC 1010.
26. Refuge areas shall be provided within each smoke compartment per CBC 420.6.2.
27. Low-level exit signage shall be provided in all fire rated exit corridors.
28. Knox boxes shall be provided at the front entry and exterior doors at the southeast and southwest stairwells. Stairwell doors shall be keyed to provide for exterior emergency access.
29. Minimum 2A:10BC fire extinguishers shall be provided in all common areas. The maximum travel distance to a fire extinguisher shall be 75 feet.
30. In order to verify the required water service size for the project, the Property Owner/Applicant shall submit to the Public Works Services Department calculations for the maximum commercial use demand and maximum fire demand prior to the issuance of a building permit. Fire protection requirements shall be as stipulated by the Arcadia Fire Department and shall be conformed to Arcadia Standard Plan. A separate fire service with Double Check Detector Assembly (DCDA) shall be installed for fire service required.
31. The Property Owner/Applicant shall provide separate water services and meters for the facility and outdoor irrigation system. A reduced pressure backflow device shall be installed for each water service.
32. Prior to the issuance of a building permit, the Property Owner/Applicant shall submit a Water Meter Permit Application to the Public Works Services Department.
33. The Property Owner/Applicant shall provide a new water service installation. Installation shall be according to the specifications of the Public Works Services Department, Engineering Division. Abandonment of existing water services, if necessary, shall be completed by the Property Owner/Applicant, according to Public Works Services Department, Engineering Section specifications.
34. The Property Owner/Applicant shall connect to the Los Angeles County sewer line on Michillinda Avenue. The Property Owner/Applicant shall coordinate with the Los Angeles County Sanitation Districts (LACSD) for connection.
35. The Property Owner/Applicant shall abandon the entire easement portion of the existing sewer line between the project site and Altura Road.
36. Prior to the issuance of a grading permit, the Property Owner/Applicant shall prepare a Storm Water Pollution Prevention Plan (SWPPP) and shall obtain a Waste Discharge Identification (WDID) number from the State.

37. The trash enclosure area shall be installed by the Property Owner/Applicant and shall comply with the following:
- a. A minimum interior width of 9'-7" in order to accommodate three (3) 3-yard bin.
  - b. A minimum roof clearance of 10'-0" to allow the bin lids to open completely.
  - c. Shall include a trash, recycling and organics recycling bins.
  - d. Provide a minimum of one (1) foot clearance around the trash bin/recycling bin.
38. The Property Owner/Applicant shall comply with all City requirements regarding building safety, fire prevention, detection, suppression, emergency access, public right-of-way improvements, parking, water supply and water facilities, sewer facilities, trash reduction and recycling requirements, and National Pollutant Discharge Elimination System (NPDES) measures, all to the satisfaction of the Building Official, Fire Marshal, Public Works Services Director, and Deputy Development Services Director. Compliance with these requirements is to be determined by having fully detailed construction plans submitted for plan check review and approval by the foregoing City officials and employees.
39. To the maximum extent permitted by law, Applicant must defend, indemnify, and hold the City, any departments, agencies, divisions, boards, and/or commissions of the City, and its elected officials, officers, contractors serving as City officials, agents, employees, and attorneys of the City ("Indemnitees") harmless from liability for damages and/or claims, actions, or proceedings for damages for personal injuries, including death, and claims for property damage, and with respect to all other actions and liabilities for damages caused or alleged to have been caused by reason of the Applicant's activities in connection with ADR 23-13 with a density bonus and CUP 23-09 ("Revised Project") on the Project site, and which may arise from the direct or indirect operations of the Applicant or those of the Applicant's contractors, agents, tenants, employees or any other persons acting on Applicant's behalf, which relate to the development and/or construction of the Project. This indemnity provision applies to all damages and claims, actions, or proceedings for damages, as described above, regardless of whether the City prepared, supplied, or approved the plans, specifications, or other documents for the Project.

In the event of any legal action challenging the validity, applicability, or interpretation of any provision of this approval, or any other supporting document relating to the Project, the City will notify the Applicant of the claim, action, or proceedings and will cooperate in the defense of the matter. The Applicant must indemnify, defend and hold harmless the Indemnitees, and each of them, with respect to all liability, costs and expenses incurred by, and/or awarded against, the City or any of the Indemnitees in relation to such action. Within 15 days' notice from the City of any such action, the Applicant shall provide to the City a cash deposit to cover legal fees, costs, and expenses incurred by City in connection with defense of any legal action in an initial amount to be reasonably determined by the City Attorney. The City may

draw funds from the deposit for such fees, costs, and expenses. Within 5 business days of each and every notice from the City that the deposit has fallen below the initial amount, Applicant/Property Owner shall replenish the deposit each and every time in order for City's legal team to continue working on the matter. The City shall only refund to the Applicant/Property Owner any unexpended funds from the deposit within 30 days of: (i) a final, non-appealable decision by a court of competent jurisdiction resolving the legal action; or (ii) full and complete settlement of legal action. The City shall have the right to select legal counsel of its choice. The parties hereby agree to cooperate in defending such action. The City will not voluntarily assist in any such third-party challenge(s). In consideration for approval of the Project, this condition shall remain in effect if the entitlement(s) related to this Project is rescinded or revoked, at the request of the Applicant or not.

40. Approval of Architectural Design Review No. ADR 23-13 with a density bonus and Conditional Use Permit No. CUP 23-09 shall not be in effect unless the Property Owner and Applicant have executed and filed the Acceptance Form with the City on or before 30 calendar days after the Planning Commission has adopted the Resolution. The Acceptance Form to the Development Services Department is to indicate awareness and acceptance of the conditions of approval.

### **Mitigation Measures as Conditions of Approval**

The following conditions are found in the Mitigation Monitoring and Reporting Program (MMRP). They are recorded here to facilitate review and implementation. More information on the timing and responsible parties for these mitigation measures are detailed in the MMRP.

### **Biological Resources**

41. **BIO-1:** Tree removal shall not occur during the local nesting season (February 1 to September 15 for nesting birds and February 1 to June 30 for nesting raptors), to the extent practicable. If any construction or tree removal occurs during the nesting season, a nesting bird survey shall be conducted by a qualified biologist prior to commencement of grading or removal of any trees on the property. If the biologist determines that nesting birds are present, restrictions may be placed on construction activities in the vicinity of the nest observed until the nest is no longer active, as determined by the biologist based on the location of the nest, type of the construction activities, the existing human activity in the vicinity of the nest, and the sensitivity of the nesting species. Grading and/or construction may resume in this area when a qualified biologist has determined that the nest is no longer occupied, and all juveniles have fledged. This measure shall be implemented to the satisfaction of the Deputy Development Services Director or Designee.
42. **BIO-2:** Prior to issuance of a building permit, the applicant shall demonstrate that the Project landscaping plan and planned construction are consistent with the City's Tree

Protection Ordinance and the Protected Tree Study. The tree protection activities shall include the following:

- a. Prior to demolition, the contractor and consulting arborist shall meet on-site to make sure tree protection zones are established around all protected trees to be preserved and to review the goals for the tree protection plan.
- b. Tree protection zone fences shall be placed around each protected tree. Fences shall be at least 4 feet tall and constructed of chain-link fencing secured on metal posts. Where fences are not feasible (e.g., in haul routes or areas where workers will need frequent access), soil and root protection material can be installed.
- c. The contractor shall maintain the fences and/or soil protection material throughout the completion of the Project. No staging of materials or equipment or washing out shall occur within the fenced protected zones.
- d. Trees should be irrigated throughout the year. A deep watering that provides good soil moisture to a depth of 16 inches is optimal. The trees shall be deeply water once every 21 to 28 days during the summer and fall seasons when rain is unlikely.
- e. For Tree No. 49, a protected deodar cedar located on the Project Site's Colorado Boulevard frontage, the deadwood shall be removed to prevent the dead branches from falling. However, no reduction pruning in the live crown of the tree is required. The tree shall be monitored for its health during the life of the Project, and irrigation shall occur at the same frequency of the other trees.
- f. The arborist shall monitor a few critical phases of the Project, including pre-demolition, to direct the installation of protective fences and soil protection measures; grading and excavation; any utility or drainage trenching that is required within a tree protection zone; and a final evaluation during the landscape installation phase.
- g. Additional construction best practices described in the Protected Tree Report shall be implemented.

### **Cultural Resources**

43. **CUL-1:** Treatment of previously unidentified archaeological deposits: If suspected prehistoric or historical archaeological deposits are discovered during construction, all work within 25 feet of the discovery shall be redirected and a Secretary of the Interior Professional Qualified archaeologist and/or Registered Professional Archaeologist shall assess the situation and make recommendations regarding the treatment of the discovery. Impacts to significant archaeological deposits shall be avoided if feasible, but if such impacts cannot be avoided, the deposits shall be evaluated for their eligibility for the California Register of Historical Resources. If the deposits are not eligible, no further protection of the find is necessary. If the deposits are eligible, impacts shall be avoided or mitigated. Acceptable mitigation may consist of, but is not necessarily limited to, systematic recovery and analysis of archaeological deposits, recording the resource, preparation of a report of findings,

and accessioning recovered archaeological materials at an appropriate curation facility.

## **Geology and Soils**

44. **GEO-1:** If paleontological resources (fossils) are discovered during Project grading, work shall be halted in that area until a qualified paleontologist can be retained to assess the significance of the find. The Project paleontologist shall monitor remaining earth-moving activities at the Project Site and shall be equipped to record and salvage fossil resources that may be unearthed during grading activities. The paleontologist shall be empowered to temporarily halt or divert grading equipment to allow recording and removal of the unearthed resources. Any fossils found shall be evaluated in accordance with the CEQA Guidelines and offered for curation at an accredited facility approved by the City of Arcadia. Once grading activities have ceased or the paleontologist determines that monitoring is no longer necessary, monitoring activities shall be discontinued.

## **Noise**

45. **NOI-1:** Prior to issuance of a Grading Permit, the Project applicant shall demonstrate, to the satisfaction of the City of Arcadia Planning Division, that the Project complies with the following:
- a. Construction contracts specify that all construction equipment, fixed or mobile, shall be equipped with properly operating and maintained mufflers and other State-required noise attenuation devices.
  - b. The contractor shall provide evidence that a construction staff member will be designated as a noise disturbance coordinator and will be present on-site during construction activities. The noise disturbance coordinator shall be responsible for responding to any local complaints about construction noise. When a complaint is received, the noise disturbance coordinator shall notify the City within 24 hours of the complaint and determine the cause of the noise complaint (e.g., starting too early or bad muffler) and shall implement reasonable measures to resolve the complaint, as deemed acceptable by the Deputy Development Services Director (or designee). All notices that are sent to residential units immediately surrounding the construction site and all signs posted at the construction site shall include the contact name and the telephone number for the noise disturbance coordinator. All necessary signage and notices shall be posted on or sent to residential units immediately surrounding the construction site no less than two weeks prior to the start of noise-generating construction activities on the Project Site.
  - c. During construction, stationary construction equipment shall be placed such that emitted noise is directed away from sensitive noise receivers.
  - d. Prior to issuance of any Grading or Building Permit, the Project applicant shall demonstrate to the satisfaction of the Deputy Development Services

Director (or designee) that construction noise reduction methods shall be used where feasible. These reduction methods may include shutting off idling equipment, installing temporary acoustic barriers around stationary construction noise sources, maximizing the distance between construction equipment staging areas and occupied residential areas, and utilizing electric air compressors and similar power tools.

- e. Construction haul routes shall be designed to avoid noise-sensitive uses (e.g., residences and convalescent homes) to the extent feasible.

## **Tribal Cultural Resources**

46. **TCR-1:** The Project Applicant shall be required to retain and compensate for the services of a tribal monitor/consultant, who is both approved by the Gabrieleño Band of Mission Indians-Kizh Nation Tribal Government and listed under the Native American Heritage Commission's (NAHC) Tribal Contact list for the area of the project location. This list is provided by the NAHC. The monitor/consultant shall only be present on-site during the construction phases that involve ground disturbing activities. Ground disturbing activities are defined by the Gabrieleño Band of Mission Indians-Kizh Nation as activities that may include, but are not limited to, pavement removal, pot-holing or auguring, grubbing, tree removals, boring, grading, excavation, drilling, and trenching, within the Project area. The tribal Monitor/consultant shall complete daily monitoring logs that will provide descriptions of the day's activities, including construction activities, locations, soil, and any cultural materials identified. The on-site monitoring shall end when the Project Site grading and excavation activities are completed or when the tribal representatives and monitor/consultant have indicated that the site has a low potential for impacting tribal cultural resources.
47. **TCR-2:** Upon discovery of any tribal cultural or archaeological resources, construction activities shall cease in the immediate vicinity of the find until the find can be assessed. All tribal cultural and archaeological resources unearthed by Project construction activities shall be evaluated by the qualified archaeologist and tribal monitor/consultant approved by the Gabrieleño Band of Mission Indians-Kizh Nation. If the resources are Native American in origin, the Gabrieleño Band of Mission Indians-Kizh Nation shall coordinate with the landowner regarding treatment and curation of these resources. Typically, the tribe will request preservation in place or recovery for educational purposes. Work may continue on other parts of the Project Site while evaluation and, if necessary, additional protective mitigation takes place (CEQA Guidelines Section 15064.5 [f]). If a resource is determined by the qualified archaeologist to constitute a "historical resource" or "unique archaeological resource," time allotment and funding sufficient to allow for implementation of avoidance measures, or appropriate mitigation, must be available. The treatment plan established for the resources shall be in accordance with CEQA Guidelines Section 15064.5(f) for historical resources. For unique archaeological resources, preservation in place is the preferred manner of treatment in accordance with PRC Section 21083.2(b). If preservation in place is not feasible, treatment may include

implementation of archaeological data recovery excavations to remove the resource along with subsequent laboratory processing and analysis. All tribal cultural resources shall be returned to the tribe. Any historic archaeological material that is not Native American in origin shall be curated at a public, nonprofit institution with a research interest in the materials, such as the Natural History Museum of Los Angeles County or the Fowler Museum, if such an institution agrees to accept the material. If no institution accepts the archaeological material, they shall be offered to the tribe or a local school or historical society in the area for educational purposes.

48. **TCR-3:** Native American human remains are defined in PRC 5097.98 (d)(1) as an inhumation or cremation, and in any state of decomposition or skeletal completeness. Funerary objects, called associated grave goods in PRC 5097.98, are also to be treated according to this statute. Health and Safety Code 7050.5 dictates that any discoveries of human skeletal material shall be immediately reported to the County Coroner and excavation halted until the coroner has determined the nature of the remains. If the coroner recognizes the human remains to be those of a Native American or has reason to believe that they are those of a Native American, he or she shall contact, by telephone within 24 hours, the NAHC and PRC 5097.98 shall be followed.

Upon discovery of human remains, the tribal and/or archaeological monitor/consultant/consultant shall immediately divert work at minimum of 150 feet and place an exclusion zone around the discovery location. The monitor/consultant(s) shall then notify the tribe, the qualified lead archaeologist, and the construction manager who will call the coroner. Work shall continue to be diverted while the coroner determines whether the remains are human and subsequently Native American. The discovery is to be kept confidential and secure to prevent any further disturbance. If the finds are determined to be Native American, the coroner shall notify the NAHC as mandated by State law, who will then appoint a Most Likely Descendent (MLD). If the Gabrieleño Band of Mission Indians – Kizh Nation is designated MLD, the Koo-nas-gna Burial Policy shall be implemented. To the tribe, the term “human remains” encompasses more than human bones. In ancient, as well as, historic times, tribal traditions included, but were not limited to, the preparation of the soil for burial, the burial of funerary objects with the deceased, and the ceremonial burning of human remains. The prepared soil and cremation soils are to be treated in the same manner as bone fragments that remain intact. Associated funerary objects are objects that, as part of the death rite or ceremony of a culture, are reasonably believed to have been placed with individual human remains either at the time of death or later; other items made exclusively for burial purposes or to contain human remains can also be considered as associated funerary objects.

Prior to the continuation of ground disturbing activities, the land owner shall arrange a designated site location within the footprint of the Project for the respectful reburial of the human remains and/or ceremonial objects. In the case where discovered human remains cannot be fully documented and recovered on the same day, the

remains shall be covered with muslin cloth and a steel plate that can be moved by heavy equipment placed over the excavation opening to protect the remains. If this type of steel plate is not available, a 24-hour guard should be posted outside of working hours. The tribe shall make every effort to recommend diverting the Project and keeping the remains in situ and protected. If the Project cannot be diverted, it may be determined that burials shall be removed. The tribe shall work closely with the qualified archaeologist to ensure that the excavation is treated carefully, ethically and respectfully. If data recovery are approved by the tribe, documentation shall be taken which includes at a minimum detailed descriptive notes and sketches. Additional types of documentation shall be approved by the tribe for data recovery purposes. Cremations shall either be removed in bulk or by means as necessary to ensure completely recovery of all material. If the discovery of human remains includes four or more burials, the location is considered a cemetery and a separate treatment plan shall be created. Once complete, a final report of all activities is to be submitted to the tribe and the NAHC. The tribe does not authorize any scientific study or the utilization of any invasive and/or destructive diagnostics on human remains. Each occurrence of human remains and associated funerary objects shall be stored using opaque cloth bags. All human remains, funerary objects, sacred objects and objects of cultural patrimony shall be removed to a secure container on site if possible. These items shall be retained and reburied within six months of recovery. The site of reburial/repatriation shall be on the Project Site but at a location agreed upon between the tribe and the landowner at a site to be protected in perpetuity. There shall be no publicity regarding any cultural materials recovered.

49. **TCR-4:** Archaeological and Native American monitoring and excavation during construction projects shall be consistent with current professional standards. All feasible care to avoid any unnecessary disturbance, physical modification, or separation of human remains and associated funerary objects shall be taken. Principal personnel must meet the Secretary of Interior's Standards for archaeology and have a minimum of 10 years of experience as a principal investigator working with Native American archaeological sites in Southern California. The qualified archaeologist shall ensure that all other personnel are appropriately trained and qualified.

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# **Attachment No. 2**

Aerial Photo with Zoning Information and  
Photos of the Subject Property and the  
Surrounding Properties

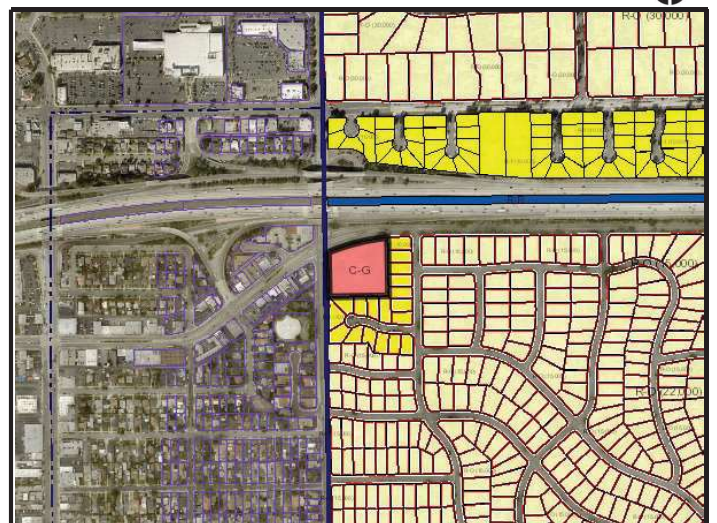
**Site Address:** 1150 W COLORADO BLVD

**Property Owner(s):** Property Owner



Property Characteristics	
<b>Zoning:</b>	C-G
<b>General Plan:</b>	C
<b>Lot Area (sq ft):</b>	
<b>Main Structure / Unit (sq. ft.):</b>	13,088
<b>Year Built:</b>	1976
<b>Number of Units:</b>	0
Overlays	
<b>Architectural Design Overlay:</b>	N/A
<b>Downtown Overlay:</b>	N/A
<b>Downtown Parking Overlay:</b>	N/A
<b>Parking Overlay:</b>	N/A
<b>Racetrack Event Overlay:</b>	N/A
<b>Residential Flex Overlay:</b>	N/A
<b>Special Height Overlay:</b>	N/A

Selected parcel highlighted



Parcel location within City of Arcadia



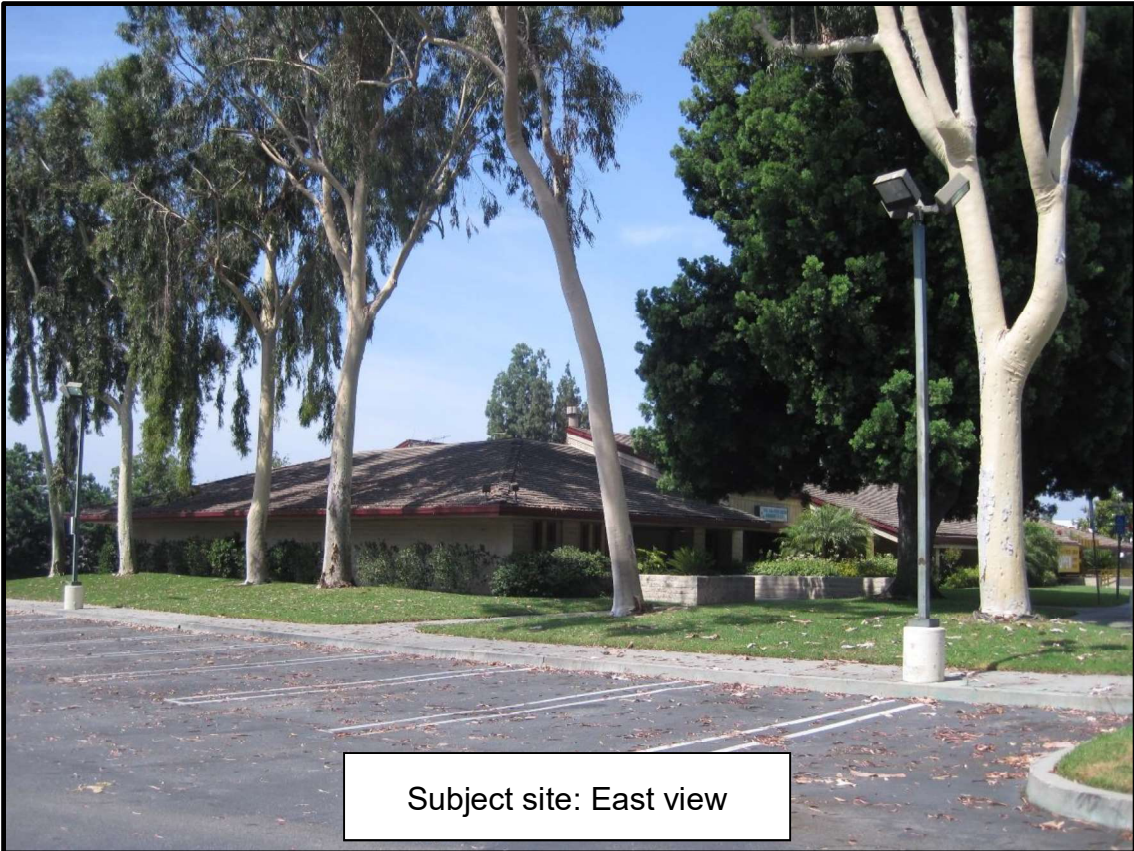
Subject site



Subject site: West view



Subject site: East view



Subject site: East view



Subject site: West view



Subject site: East parking lot area



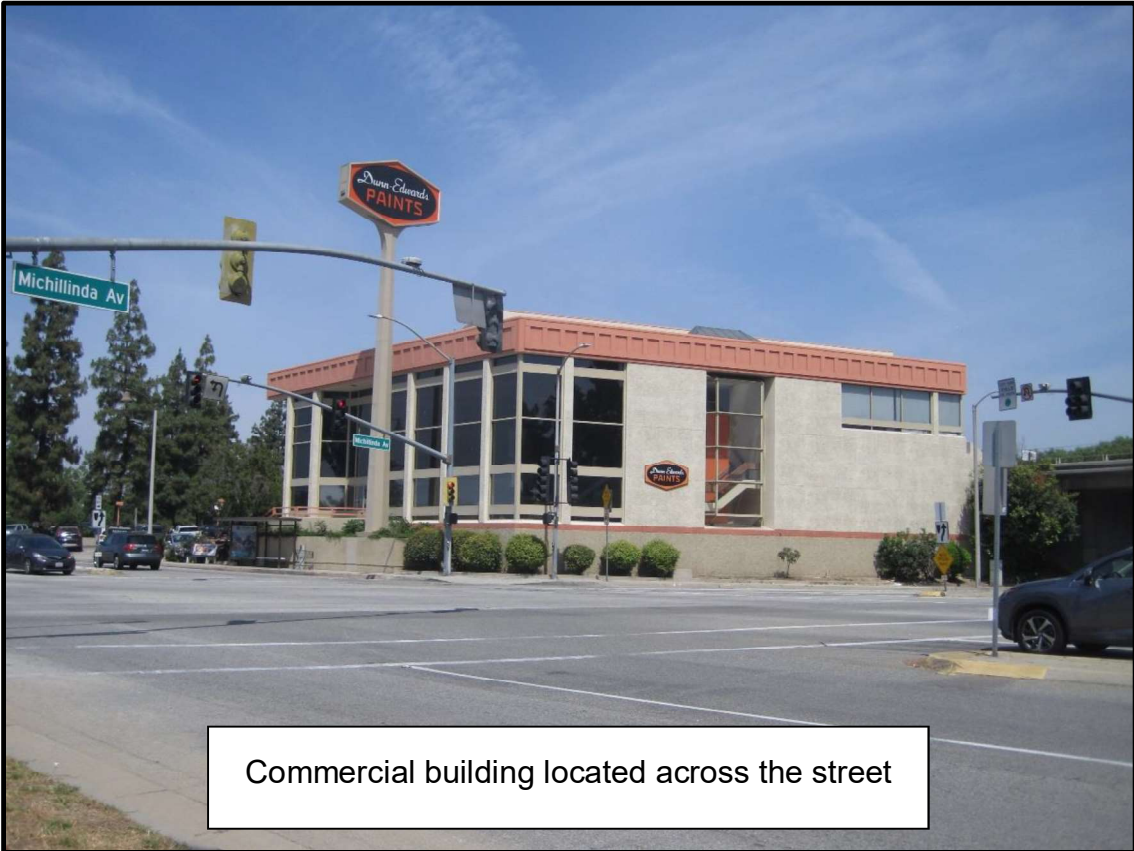
Subject site: South parking lot area



Subject site: South parking lot area



I-210 Freeway located north of the site



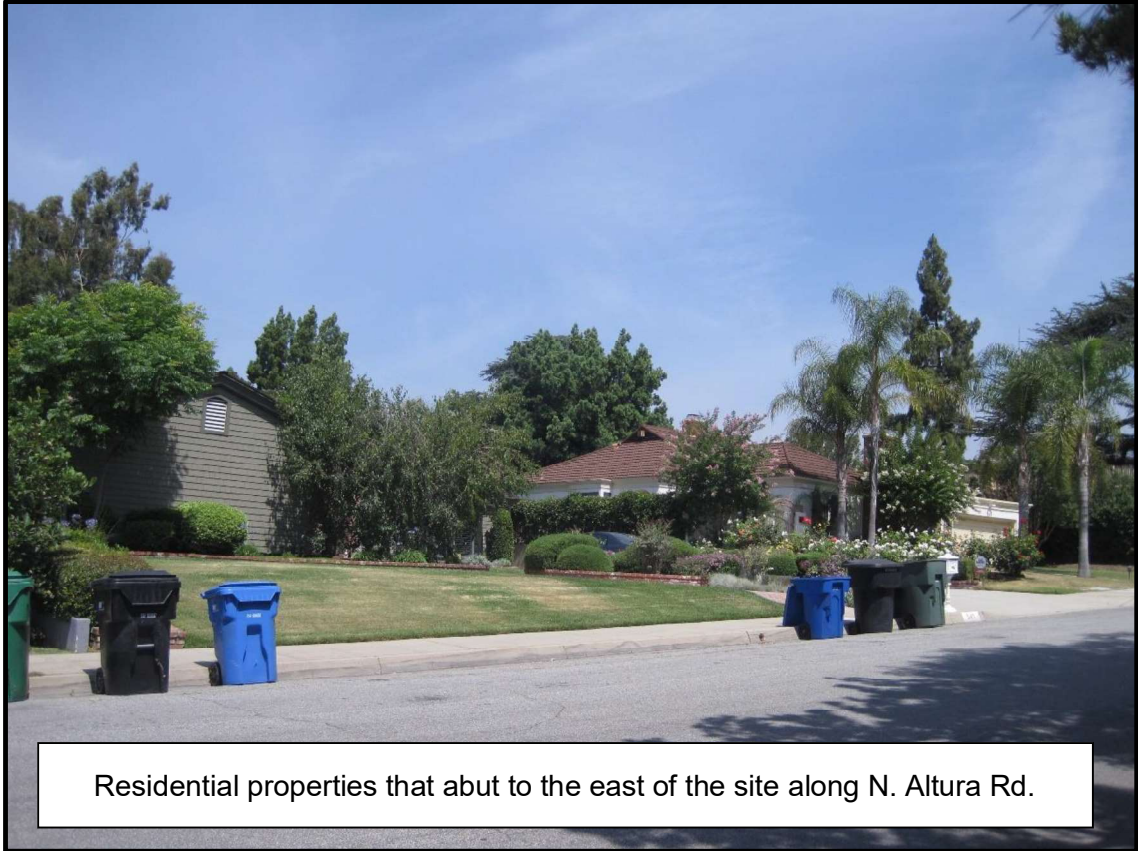
Commercial building located across the street



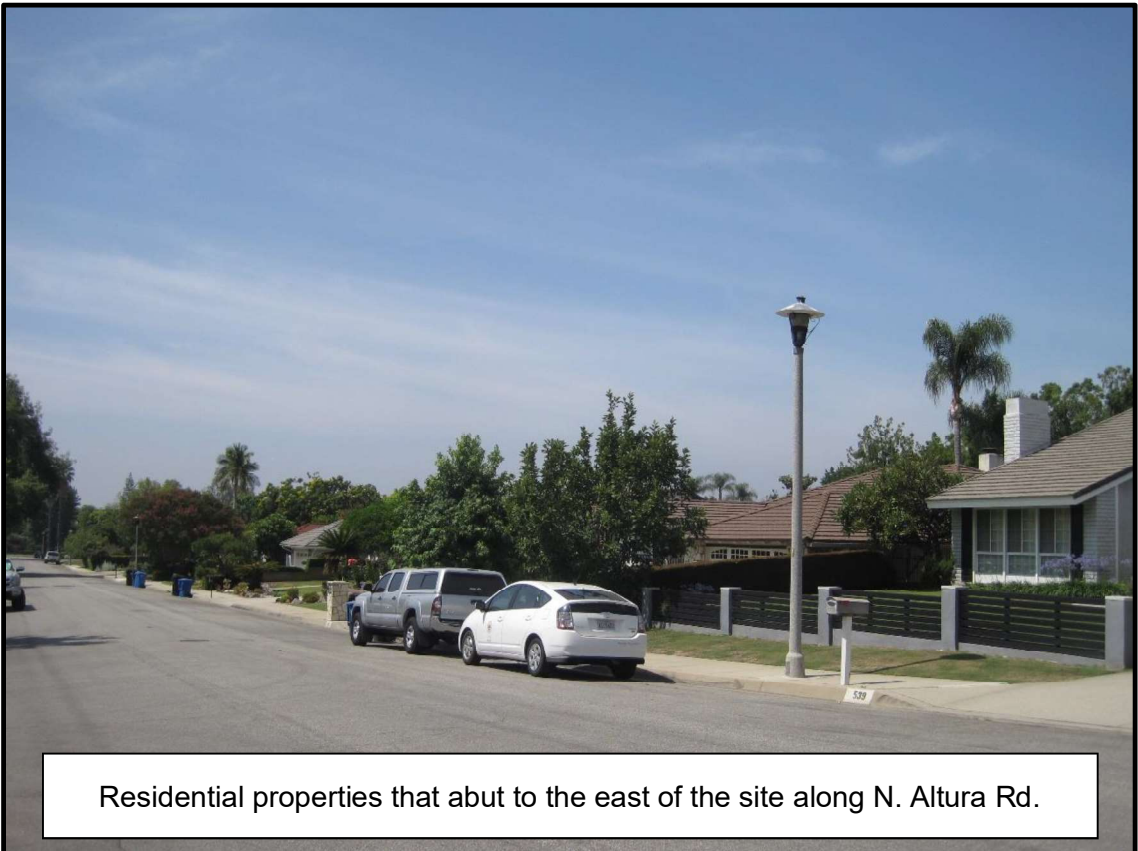
Gas station located across the street



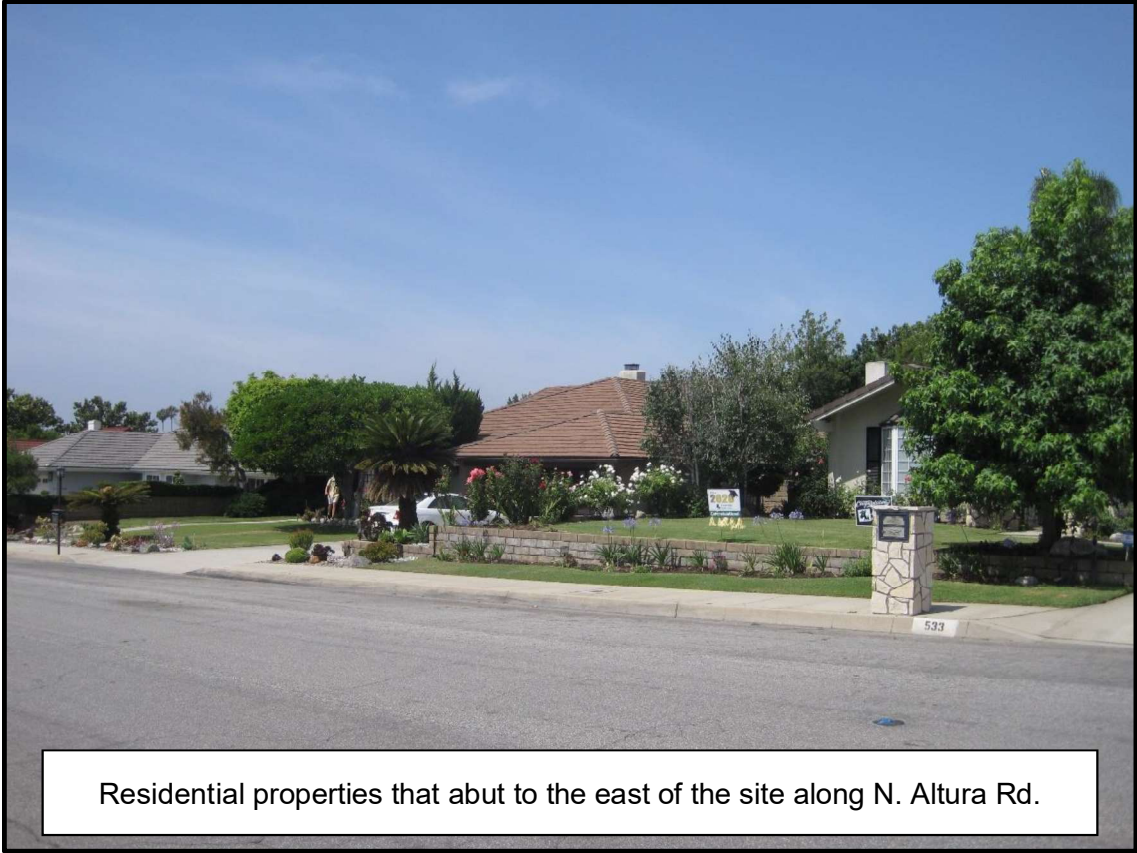
Residential properties to the south west of the site



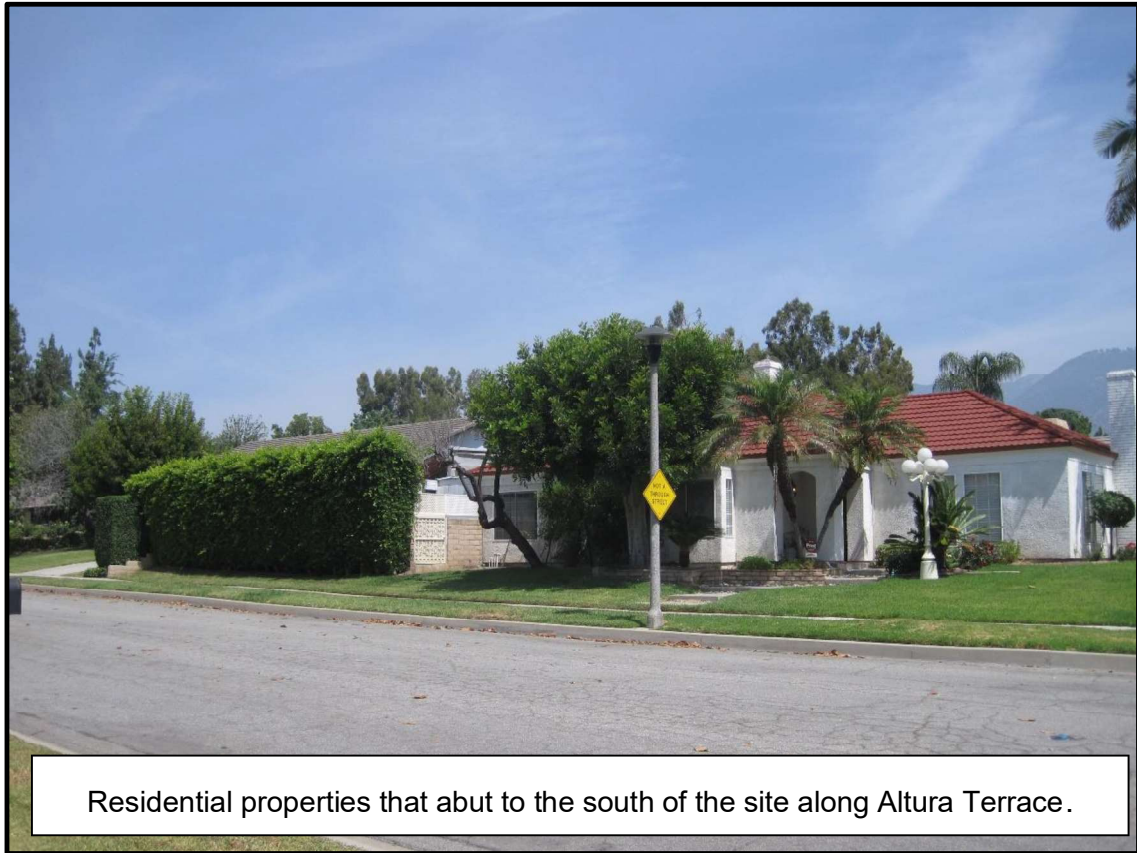
Residential properties that abut to the east of the site along N. Altura Rd.



Residential properties that abut to the east of the site along N. Altura Rd.



Residential properties that abut to the east of the site along N. Altura Rd.



Residential properties that abut to the south of the site along Altura Terrace.



Residential properties that abut to the south of the site along Altura Terrace.



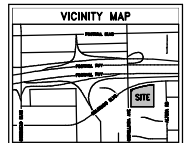
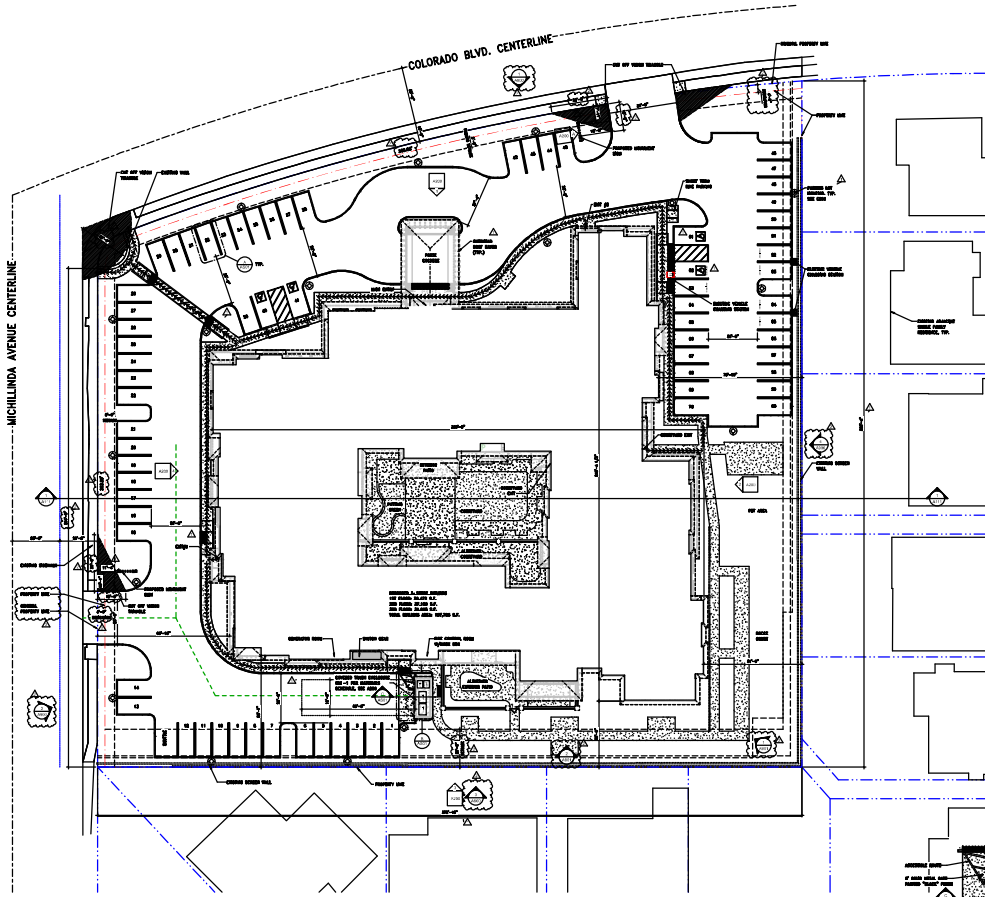
Residential properties that abut to the south of the site along Altura Terrace.



Residential properties that abut to the south of the site along Altura Terrace.

# **Attachment No. 3**

## Architectural Plans and Renderings



**PROJECT INFORMATION**

PROJECT NAME	THE ILY AT ARCADIA
CLIENT	ARCADIA DEVELOPMENT, INC.
ARCHITECT	ARCADIA ARCHITECTURAL, INC.
DATE	08/15/2018
SCALE	1/8" = 1'-0"
PROJECT NO.	18-001
SHEET NO.	AS 01
TOTAL SHEETS	12

**CONTACTS**

CLIENT	ARCADIA DEVELOPMENT, INC.	11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709
ARCHITECT	ARCADIA ARCHITECTURAL, INC.	11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709
ENGINEER	ARCADIA ENGINEERING, INC.	11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709
LANDSCAPE ARCHITECT	ARCADIA LANDSCAPE ARCHITECTURE, INC.	11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709
PLANNING	ARCADIA PLANNING, INC.	11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709
CONTRACTOR	ARCADIA CONTRACTORS, INC.	11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709

**PARKING**

TOTAL PARKING SPACES	100
STANDARD PARKING SPACES	80
COMPACT PARKING SPACES	20
BIKE PARKING SPACES	10
LANDSCAPED PARKING SPACES	10
TRASH ENCLOSURE	1
TOTAL	121

**BIKE PARKING**

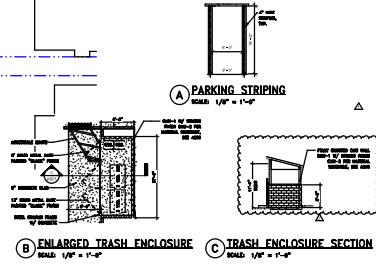
TOTAL BIKE PARKING SPACES	10
STANDARD BIKE PARKING SPACES	8
COMPACT BIKE PARKING SPACES	2
TOTAL	10

**PARKING LOT LANDSCAPING**

TOTAL LANDSCAPED PARKING SPACES	10
TOTAL	10

**SITE LEGEND**

Symbol	DESCRIPTION
Symbol	DESCRIPTION
Symbol	DESCRIPTION
Symbol	DESCRIPTION

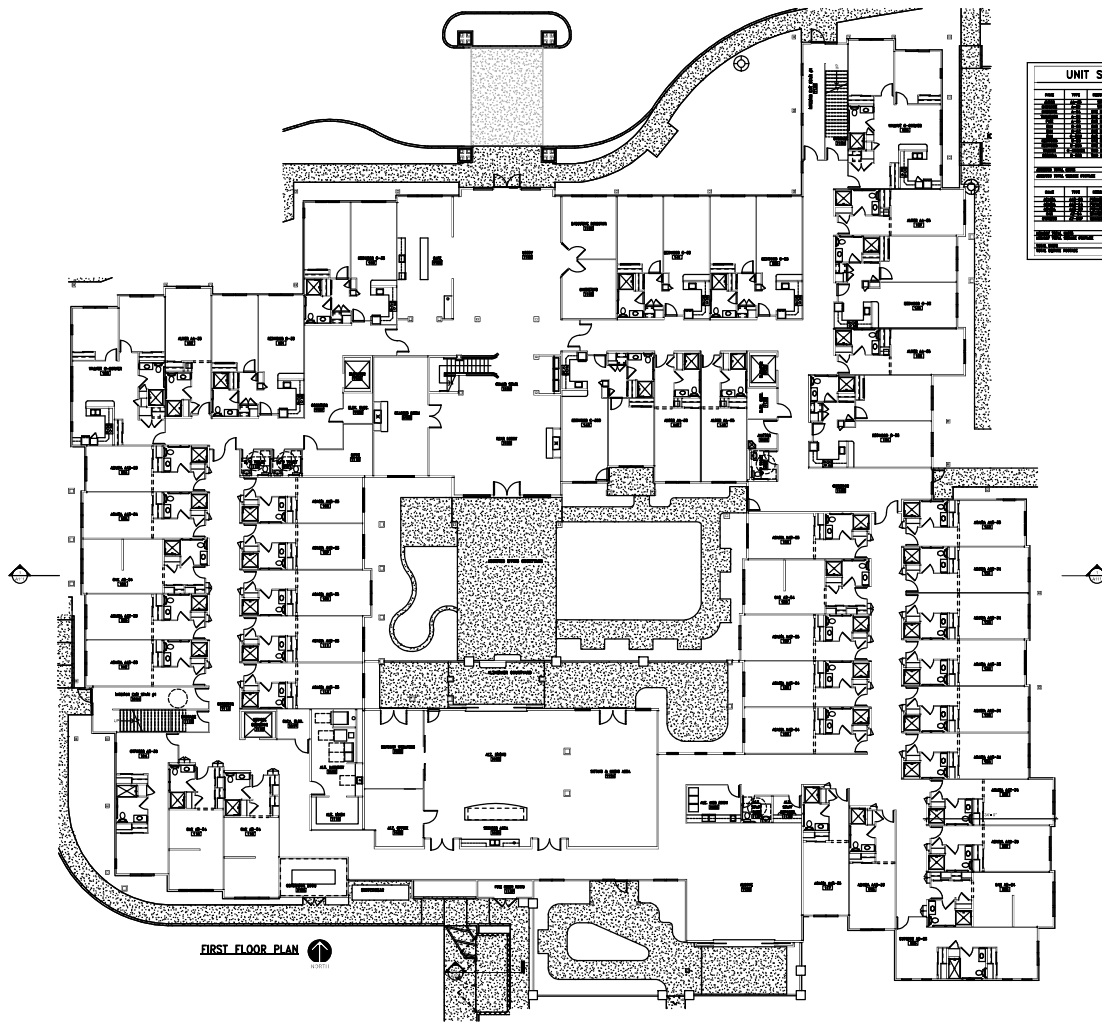


ARCADIA ARCHITECTURAL, INC.  
11515 W. COLORADO BLVD., SUITE 100, ARCADIA, CA 91709  
TEL: (951) 271-1111  
WWW.ARCADIAARCHITECTURAL.COM

**The Ily at Arcadia**  
11515 W. COLORADO BLVD.  
ARCADIA, CA 91709


ARCHITECTURAL SITE PLAN

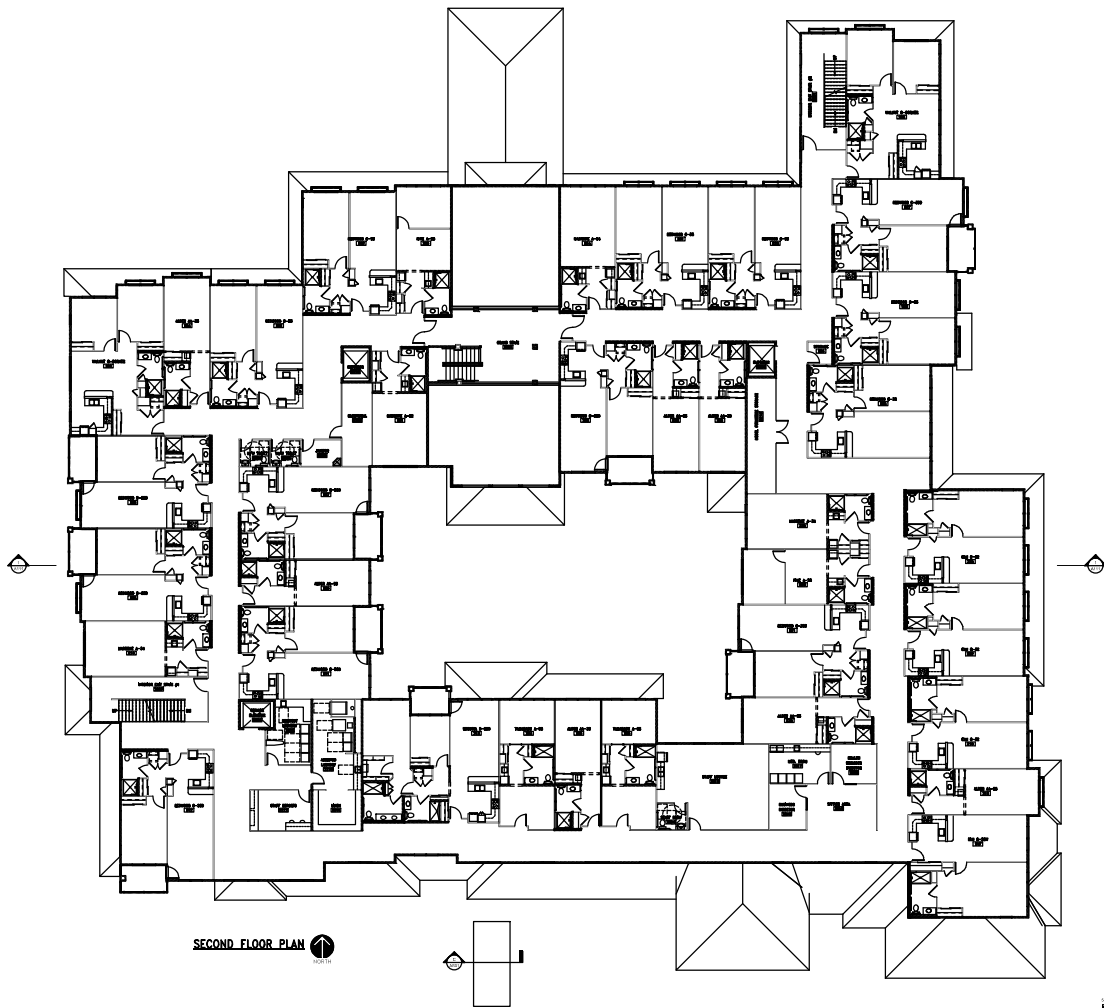
AS 01



**UNIT SUMMARY**

UNIT TYPE	NO. OF UNITS	TOTAL SQ. FT.	TOTAL SQ. FT. PER UNIT
1-BEDROOM	10	10,000	1,000
2-BEDROOM	20	20,000	1,000
3-BEDROOM	10	30,000	3,000
4-BEDROOM	5	20,000	4,000
5-BEDROOM	5	25,000	5,000
6-BEDROOM	5	30,000	6,000
7-BEDROOM	5	35,000	7,000
8-BEDROOM	5	40,000	8,000
9-BEDROOM	5	45,000	9,000
10-BEDROOM	5	50,000	10,000
11-BEDROOM	5	55,000	11,000
12-BEDROOM	5	60,000	12,000
13-BEDROOM	5	65,000	13,000
14-BEDROOM	5	70,000	14,000
15-BEDROOM	5	75,000	15,000
16-BEDROOM	5	80,000	16,000
17-BEDROOM	5	85,000	17,000
18-BEDROOM	5	90,000	18,000
19-BEDROOM	5	95,000	19,000
20-BEDROOM	5	100,000	20,000
21-BEDROOM	5	105,000	21,000
22-BEDROOM	5	110,000	22,000
23-BEDROOM	5	115,000	23,000
24-BEDROOM	5	120,000	24,000
25-BEDROOM	5	125,000	25,000
26-BEDROOM	5	130,000	26,000
27-BEDROOM	5	135,000	27,000
28-BEDROOM	5	140,000	28,000
29-BEDROOM	5	145,000	29,000
30-BEDROOM	5	150,000	30,000
31-BEDROOM	5	155,000	31,000
32-BEDROOM	5	160,000	32,000
33-BEDROOM	5	165,000	33,000
34-BEDROOM	5	170,000	34,000
35-BEDROOM	5	175,000	35,000
36-BEDROOM	5	180,000	36,000
37-BEDROOM	5	185,000	37,000
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39-BEDROOM	5	195,000	39,000
40-BEDROOM	5	200,000	40,000
41-BEDROOM	5	205,000	41,000
42-BEDROOM	5	210,000	42,000
43-BEDROOM	5	215,000	43,000
44-BEDROOM	5	220,000	44,000
45-BEDROOM	5	225,000	45,000
46-BEDROOM	5	230,000	46,000
47-BEDROOM	5	235,000	47,000
48-BEDROOM	5	240,000	48,000
49-BEDROOM	5	245,000	49,000
50-BEDROOM	5	250,000	50,000
51-BEDROOM	5	255,000	51,000
52-BEDROOM	5	260,000	52,000
53-BEDROOM	5	265,000	53,000
54-BEDROOM	5	270,000	54,000
55-BEDROOM	5	275,000	55,000
56-BEDROOM	5	280,000	56,000
57-BEDROOM	5	285,000	57,000
58-BEDROOM	5	290,000	58,000
59-BEDROOM	5	295,000	59,000
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74-BEDROOM	5	370,000	74,000
75-BEDROOM	5	375,000	75,000
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82-BEDROOM	5	410,000	82,000
83-BEDROOM	5	415,000	83,000
84-BEDROOM	5	420,000	84,000
85-BEDROOM	5	425,000	85,000
86-BEDROOM	5	430,000	86,000
87-BEDROOM	5	435,000	87,000
88-BEDROOM	5	440,000	88,000
89-BEDROOM	5	445,000	89,000
90-BEDROOM	5	450,000	90,000
91-BEDROOM	5	455,000	91,000
92-BEDROOM	5	460,000	92,000
93-BEDROOM	5	465,000	93,000
94-BEDROOM	5	470,000	94,000
95-BEDROOM	5	475,000	95,000
96-BEDROOM	5	480,000	96,000
97-BEDROOM	5	485,000	97,000
98-BEDROOM	5	490,000	98,000
99-BEDROOM	5	495,000	99,000
100-BEDROOM	5	500,000	100,000


  
 THE IVY AT ARCADIA
   
 1150 W. COLOMBO BLVD.
   
 ARCADIA, CA 91709
   
 ARCHITECT: [Faint text]
   
 ENGINEER: [Faint text]
   
 FIRST FLOOR PLAN
   
 A 101

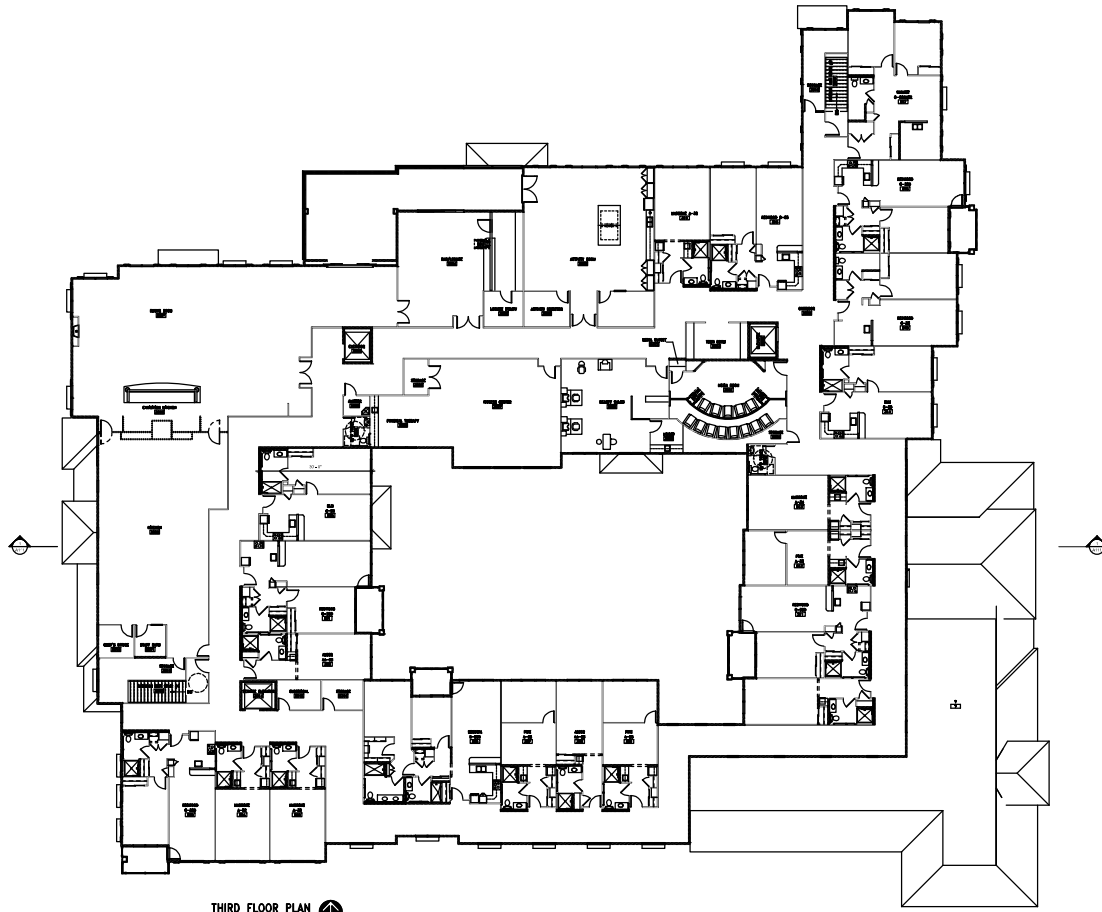


SECOND FLOOR PLAN 



ARCHITECTURE, INC.  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91007  
 TEL: (916) 486-1100  
 WWW.THEIVYATARCADIA.COM

PROJECT NO. 1000000000  
 SHEET NO. 1000000000  
 DATE 10/10/10  
 SECOND FLOOR PLAN  
 A 102



THIRD FLOOR PLAN

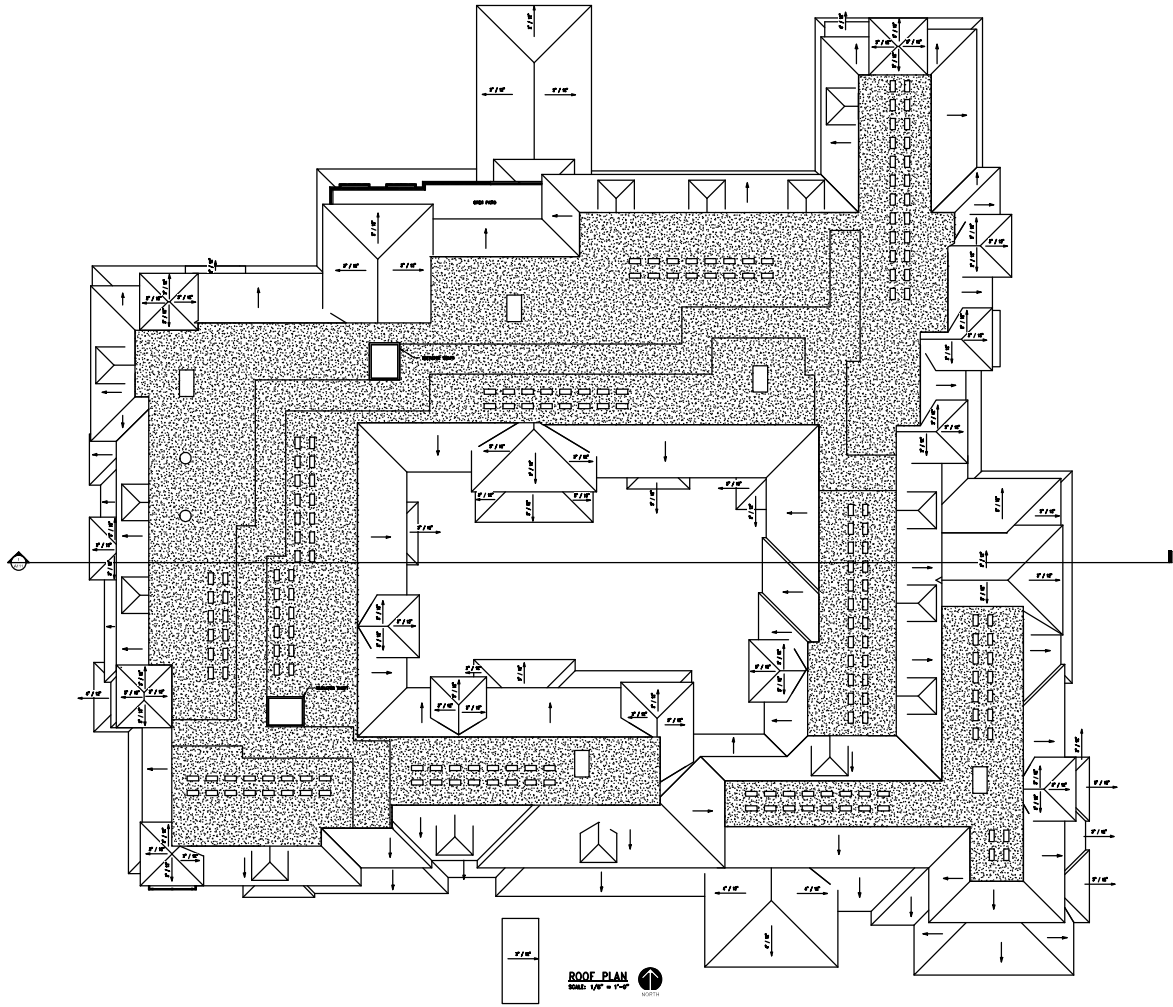


THE IVY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91007

THE IVY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91007

THIRD FLOOR PLAN

A 103



LEGEND	
[Stippled Pattern]	ROOF W/ W/
[Arrow]	P/W
[Symbol]	ROOF W/ W/

**ROOF PLAN**  
 Scale: 1/8" = 1'-0"



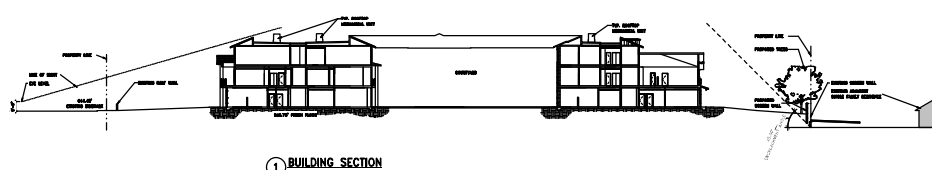
ARCHITECT: **THE IVY AT ARCADIA**  
 1150 W. COLORADO BLVD.  
 ARCADIA, CA 91709

SHEET NO. 001  
 PROJECT NO. 001  
 DATE: 01/01/2010

ROOF PLAN  
 A 110



J. Paul Smith & Associates, Inc.  
 1150 W. Colorado Blvd.  
 Suite 1000 | Denver, CO 80202  
 Tel: 303.733.6100  
 www.jpas.com



1 BUILDING SECTION  
 SCALE: 1/8" = 1'-0"

Architect: J. Paul Smith & Associates, Inc.  
**The Ivy at Arcadia**  
 1150 W. COLORADO BLVD.  
 ARCADIA, CA 91007

DATE: 01/11/11  
 DRAWN BY: JPS  
 CHECKED BY: JPS  
 PROJECT NO: 111000001

BUILDING SECTION



A 111



THE IVEY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91702

THE IVEY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91702

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 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91702

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 ARCADIA, CA 91702

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 ARCADIA, CA 91702

THE IVEY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91702

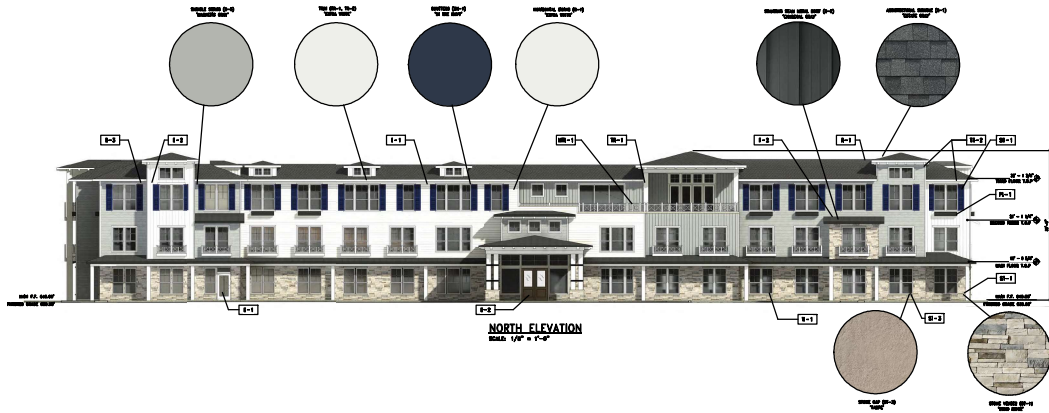
THE IVEY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91702

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 ARCADIA, CA 91702

THE IVEY AT ARCADIA  
 1150 W. COLOMBO BLVD.  
 ARCADIA, CA 91702



NO.	DESCRIPTION	QUANTITY	UNIT
1001	CONCRETE	1000	CU YD
1002	REINFORCING BARS	1000	LB
1003	FORMWORK	1000	SQ YD
1004	BRICK	1000	SQ YD
1005	CEMENT MORTAR	1000	CU YD
1006	ROOFING	1000	SQ YD
1007	GLASS	1000	SQ YD
1008	PAINT	1000	GA
1009	MECHANICAL	1000	CU YD
1010	ELECTRICAL	1000	CU YD
1011	PLUMBING	1000	CU YD
1012	INSULATION	1000	CU YD
1013	FOUNDATION	1000	CU YD
1014	ROOFING	1000	SQ YD
1015	GLASS	1000	SQ YD
1016	PAINT	1000	GA
1017	MECHANICAL	1000	CU YD
1018	ELECTRICAL	1000	CU YD
1019	PLUMBING	1000	CU YD
1020	INSULATION	1000	CU YD



MONUMENT SIGN  
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A200



① COLORADO BLVD. VIEW



② MICHILLINDA AVE VIEW



③ SOUTH VIEW FROM ADJACENT RESIDENCES



④ EAST VIEW FROM ADJACENT RESIDENCES



1150 W. COLORADO BLVD.  
ARCADIA, CA 91007

1150 W. COLORADO BLVD.  
ARCADIA, CA 91007

1150 W. COLORADO BLVD.  
ARCADIA, CA 91007

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1150 W. COLORADO BLVD.  
ARCADIA, CA 91007



① SOUTHEAST CORNER VIEW



② SOUTH VIEW



THE IVEY AT ARCADIA  
 1150 W. COLORADO BLVD.  
 ARCADIA, CA 91702

THE IVEY AT ARCADIA  
 1150 W. COLORADO BLVD.  
 ARCADIA, CA 91702

ARCHITECTURE  
 INTERIORS  
 LANDSCAPE

DATE: 08/11/2020  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 PROJECT NO: [Number]

EXTERIOR  
 RENDERINGS  
 A 9 0 1



**PARK IV GROUP, LLC**

1500 B COLORADO BLVD  
SUITE 400  
SAN JOSE, CA 95128



CONSULTANT  
1500 B COLORADO BLVD  
SUITE 400  
SAN JOSE, CA 95128



PROJECT  
**ARCADIA COLORADO BLVD**

1500 B COLORADO BLVD  
SUITE 400  
SAN JOSE, CA 95128

CLIENT  
PARK IV GROUP  
3 Park IV, Suite 100, San Jose, CA 95128

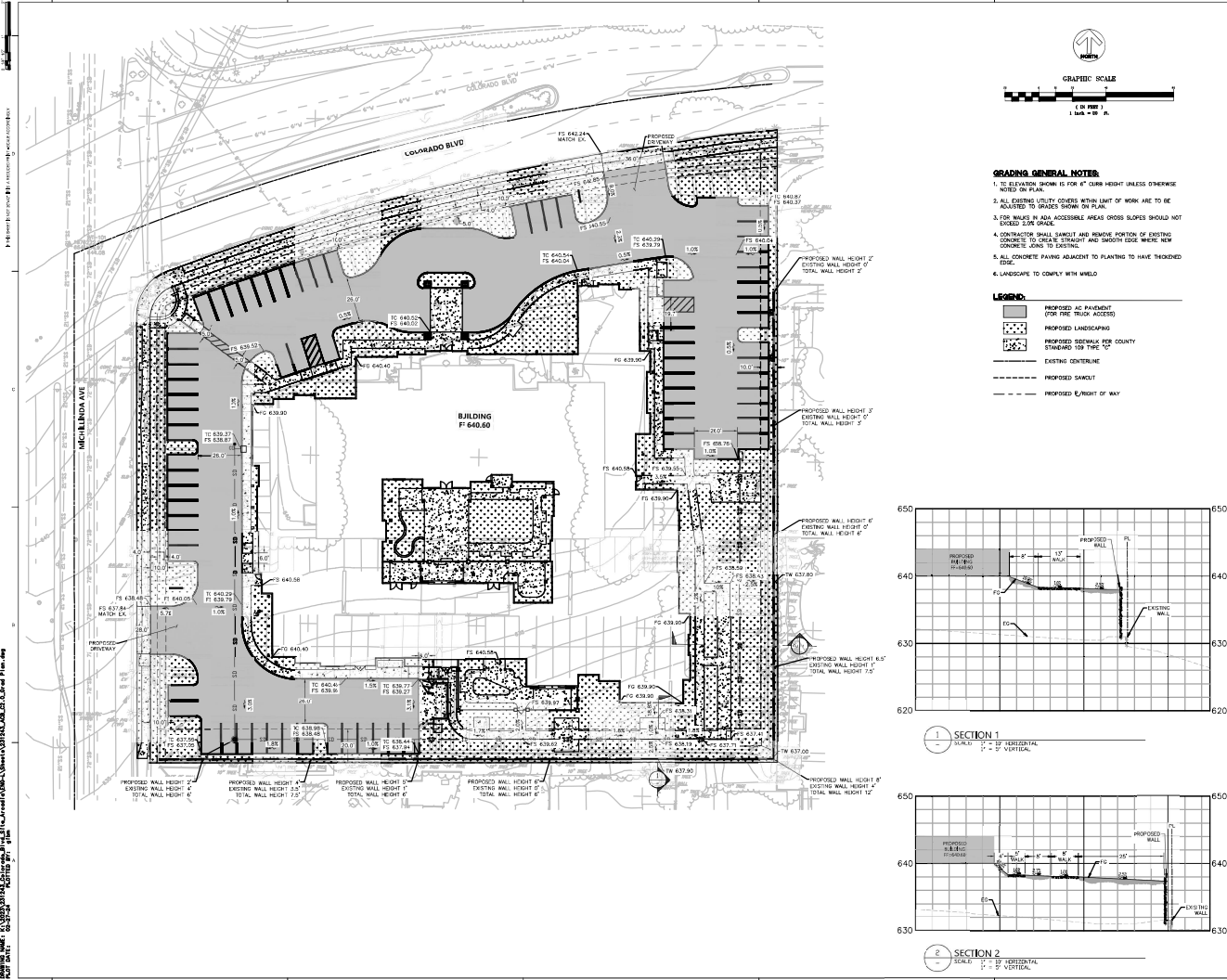
DATE	DESCRIPTION

DESIGNED BY	
CHECKED BY	
DATE	

**GRADING PLAN**

**C2.0**

SHEET	
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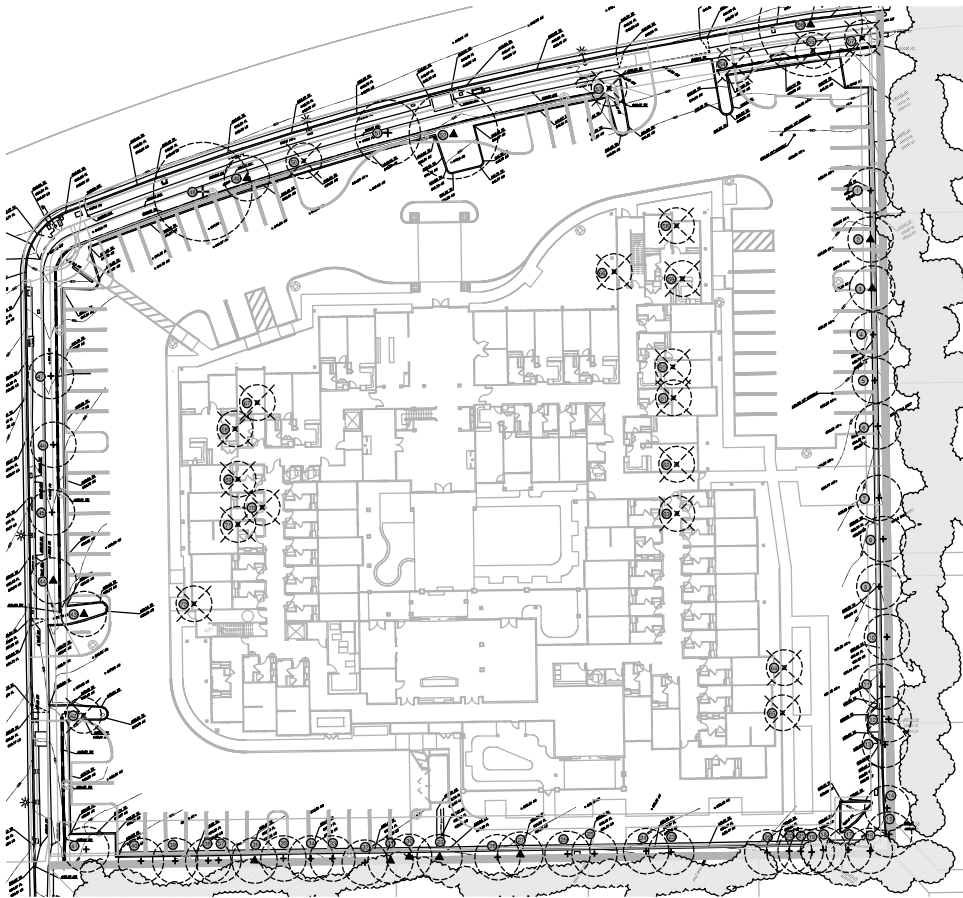


1500 B COLORADO BLVD SUITE 400 SAN JOSE, CA 95128  
 3 Park IV, Suite 100, San Jose, CA 95128  
 1500 B COLORADO BLVD SUITE 400 SAN JOSE, CA 95128  
 3 Park IV, Suite 100, San Jose, CA 95128









**ARBORIST REPORT INFORMATION**

THIS PLAN AND THE RELATED INFORMATION IS BASED ON THE ARBORIST REPORT TITLED PRELIMINARY ARBORIST REPORT AND TREE INVENTORY DATED NOVEMBER 15, 2024.

**ARBORIST CONTACT INFORMATION**

ARBOR CARE, INC.  
 1660 E. MOUNTAIN ST.  
 PASADENA, CA 911  
 TEL: (626) 737-4007  
 PROJECT ARBORIST  
 MICHAEL CRANE

**TREE REPLACEMENT SUMMARY**

EXISTING TREES ON-SITE:	72 TREES
EXISTING TREES TO BE REMOVED:	18 TREES
EXISTING TREES TO BE REMOVED FOR POOR HEALTH/DEAD:	2 TREES
EXISTING TREES TO REMAIN:	56 TREES



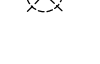
**MITIGATION INCHES REQUIRED:** NONE

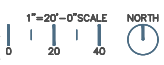
NO PROTECTED TREES WILL BE REMOVED AND ALL CAN BE RELIABLY PRESERVED IN PLACE.  
 \* REFER TO THE PLANTING PLAN ON SHEET L1 FOR MORE INFORMATION ON TREE SPECIES.

**TREE NOTES/INVENTORY**

REFER TO SHEET T02 FOR TREE SUMMARY AND INVENTORY AND TREE PROTECTION NOTES.

**TREE DISPOSITION LEGEND**

-  EXISTING TREE TO REMAIN, PROTECT IN PLACE
-  EXISTING NATIVE/PROTECTED TREE TO REMAIN, PROTECT IN PLACE
-  EXISTING TREE TO BE REMOVED



**IVY AT ARCADIA**  
 ARCADIA - CALIFORNIA

O&I DEVELOPMENT - 23-09  
 DATE: 2.27.2024



**TD1**  
 TREE  
 DISPOSITION  
 PLAN

**ARBORIST TREE REPORT INFORMATION**

Tree #	Botanical Name	Common Name	Tree Dia.	Protected Species	Minimum Required Size	Located in Protected Area	Protected Tree	To Be Removed	Encroaching New Construction
1	Quercus laevis	Carolinian Oak	8"	Yes	No	Yes	No	No	No
2	Pinus strobus	Fern Pine	13"	Yes	Yes	Yes	Yes	No	No
3	Pinus strobus	Fern Pine	13"	Yes	Yes	Yes	Yes	No	No
4	Quercus laevis	Carolinian Oak	8"	Yes	No	Yes	No	No	No
5	Pinus strobus	Fern Pine	11"	Yes	No	Yes	No	No	No
6	Quercus laevis	Carolinian Oak	16"	Yes	No	Yes	No	No	No
7	Quercus laevis	Carolinian Oak	11"	Yes	No	Yes	No	No	No
8	Quercus laevis	Carolinian Oak	7"	Yes	No	Yes	No	No	No
9	Pinus strobus	Fern Pine	17"	Yes	No	Yes	No	No	No
10	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
11	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
12	Pinus strobus	Fern Pine	17"	Yes	No	Yes	No	No	No
13	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
14	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
15	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
16	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
17	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
18	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
19	Quercus laevis	Carolinian Oak	8"	Yes	No	Yes	No	No	No
20	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
21	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
22	Pinus strobus	Fern Pine	17"	Yes	No	Yes	No	No	No
23	Quercus laevis	Carolinian Oak	8"	Yes	No	Yes	No	No	No
24	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
25	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
26	Quercus laevis	Carolinian Oak	8"	Yes	No	Yes	No	No	No
27	Pinus strobus	Fern Pine	14"	Yes	No	Yes	No	No	No
28	Quercus laevis	Carolinian Oak	7"	Yes	No	Yes	No	No	No
29	Pinus strobus	Fern Pine	14"	Yes	Yes	Yes	Yes	No	No
30	Quercus laevis	Carolinian Oak	14"	Yes	Yes	Yes	Yes	No	No
31	Pinus strobus	Fern Pine	18 1/2 - 13"	Yes	Yes	Yes	Yes	No	No
32	Pinus strobus	Fern Pine	17"	Yes	No	Yes	No	No	No
33	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
34	Quercus laevis	Carolinian Oak	10"	Yes	No	Yes	No	No	No
35	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	No	No
36	Quercus laevis	Carolinian Oak	12"	Yes	Yes	Yes	Yes	No	No
37	Schinus molle	Burden Pepper	12"	No	Yes	Yes	No	No	No
38	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
39	Quercus laevis	Carolinian Oak	5"	Yes	No	Yes	No	No	No
40	Pinus strobus	Fern Pine	8"	Yes	No	Yes	No	No	No
41	Pinus strobus	Fern Pine	11 1/2 - 17"	Yes	No	Yes	No	No	No
42	Pinus strobus	Fern Pine	5"	Yes	No	Yes	No	Yes	Yes
43	Pinus strobus	Fern Pine	17"	Yes	Yes	Yes	Yes	No	No
44	Magnolia grandiflora	Sa. Magnolia	11"	Yes	Yes	Yes	Yes	No	No
45	Magnolia grandiflora	Sa. Magnolia	11"	Yes	No	Yes	No	No	No
46	Magnolia grandiflora	Sa. Magnolia	11"	Yes	No	Yes	No	No	No
47	Magnolia grandiflora	Sa. Magnolia	11"	Yes	No	Yes	No	No	No
48	Styrax americanus	Red	4"	Yes	No	Yes	No	NA	NA
49	Cedrus deodora	Deodar Cedar	10"	Yes	Yes	Yes	Yes	No	No
50	Styrax americanus	Red	6 1/2	Yes	Yes	Yes	No	NA	NA
51	Cedrus deodora	Deodar Cedar	8"	Yes	No	Yes	No	No	No
52	Schinus molle	Burden Pepper	40"	Yes	Yes	Yes	Yes	Yes	Yes
53	Pinus strobus	Fern Pine	M 8" - 8"	Yes	No	Yes	No	No	No
54	Pinus strobus	Fern Pine	M 8" - 8"	Yes	No	Yes	No	Yes	Yes
55	Pinus strobus	Fern Pine	M 8" - 8"	Yes	No	Yes	No	Yes	Yes
56	Cedrus deodora	Deodar Cedar	30"	Yes	Yes	Yes	Yes	No	No
57	Pinus strobus	Fern Pine	10"	Yes	No	Yes	No	Yes	Yes
58	Eucalyptus citriodora	Lemon Gum	22"	No	Yes	No	No	Yes	Yes
59	Eucalyptus citriodora	Lemon Gum	17"	No	Yes	No	No	Yes	Yes
60	Eucalyptus citriodora	Lemon Gum	22"	No	Yes	No	No	Yes	Yes
61	Eucalyptus citriodora	Lemon Gum	30"	No	Yes	No	No	Yes	Yes
62	Eucalyptus citriodora	Lemon Gum	19"	No	Yes	No	No	Yes	Yes
63	Eucalyptus citriodora	Lemon Gum	19"	No	Yes	No	No	Yes	Yes
64	Eucalyptus citriodora	Lemon Gum	13"	No	Yes	No	No	Yes	Yes
65	Eucalyptus citriodora	Lemon Gum	16"	No	Yes	No	No	Yes	Yes
66	Pinus strobus	Fern Pine	31"	Yes	Yes	No	No	Yes	Yes
67	Eucalyptus citriodora	Lemon Gum	22"	No	Yes	No	No	Yes	Yes
68	Eucalyptus citriodora	Lemon Gum	20"	No	Yes	No	No	Yes	Yes
69	Eucalyptus citriodora	Lemon Gum	20"	No	Yes	No	No	Yes	Yes
70	Eucalyptus citriodora	Lemon Gum	14"	No	Yes	No	No	Yes	Yes

**TREE PROTECTION GENERAL NOTES**

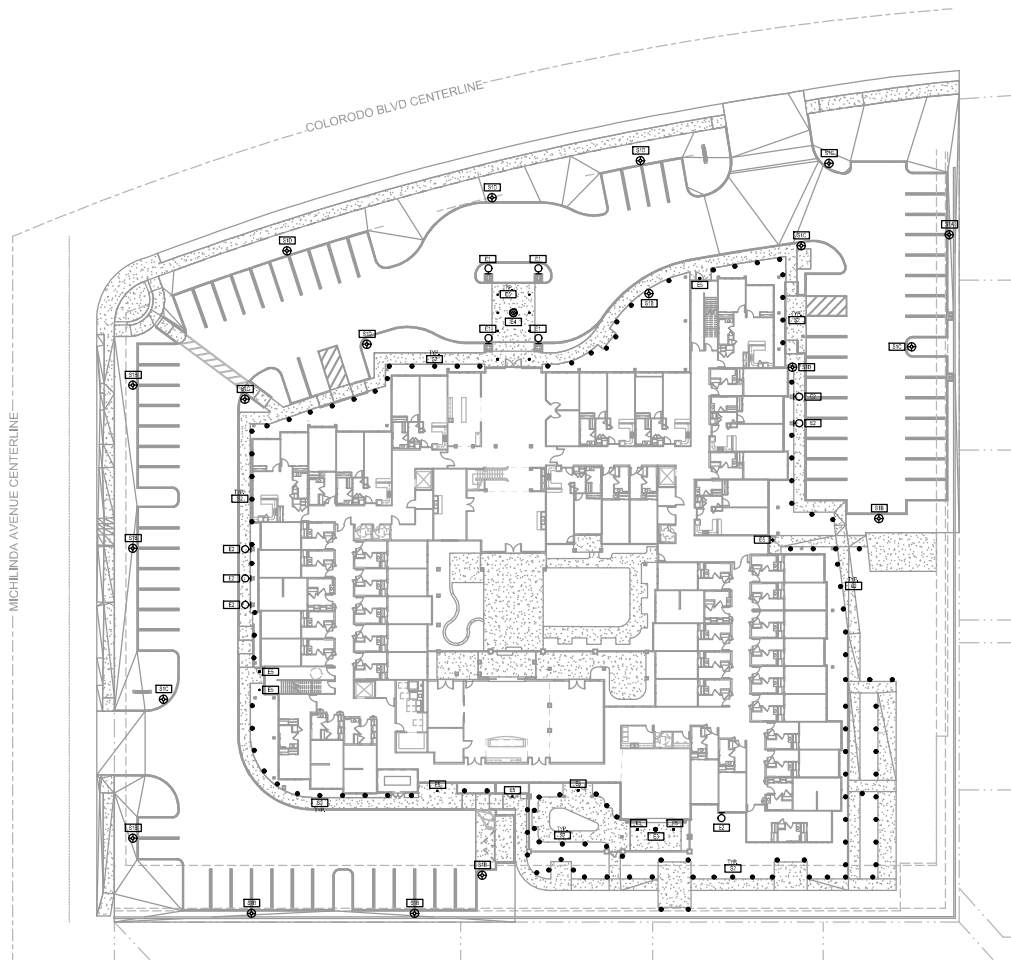
- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN THE FULL CANOPY OF ALL PROTECTED NATIVE TREES
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DROPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DROPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DROPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIBER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE ARBORIST, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS ANY PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**IVY AT ARCADIA  
ARCADIA - CALIFORNIA**

O&I DEVELOPMENT - 23-09  
DATE: 2.27.2024



**TD2  
TREE  
DISPOSITION  
NOTES**



MICHLINDA AVENUE CENTERLINE

COLORADO BLVD CENTERLINE

**1** ELECTRICAL SITE PLAN  
SCALE: 1" = 20'-0"



b hills architecture, PC  
2756 South Bowen Way  
Pasadena | CA 91106  
p. 208.258.6150  
www.bhillsarch.com

**The Ivy at Arcadia**  
1150 W. COLORADO BLVD.  
ARCADIA, CA 91007

**O&I**  
DEVELOPMENT  
175 CHERRY STREET  
3 PARK PLAZA, SUITE 200  
IRVINE, CA 92614

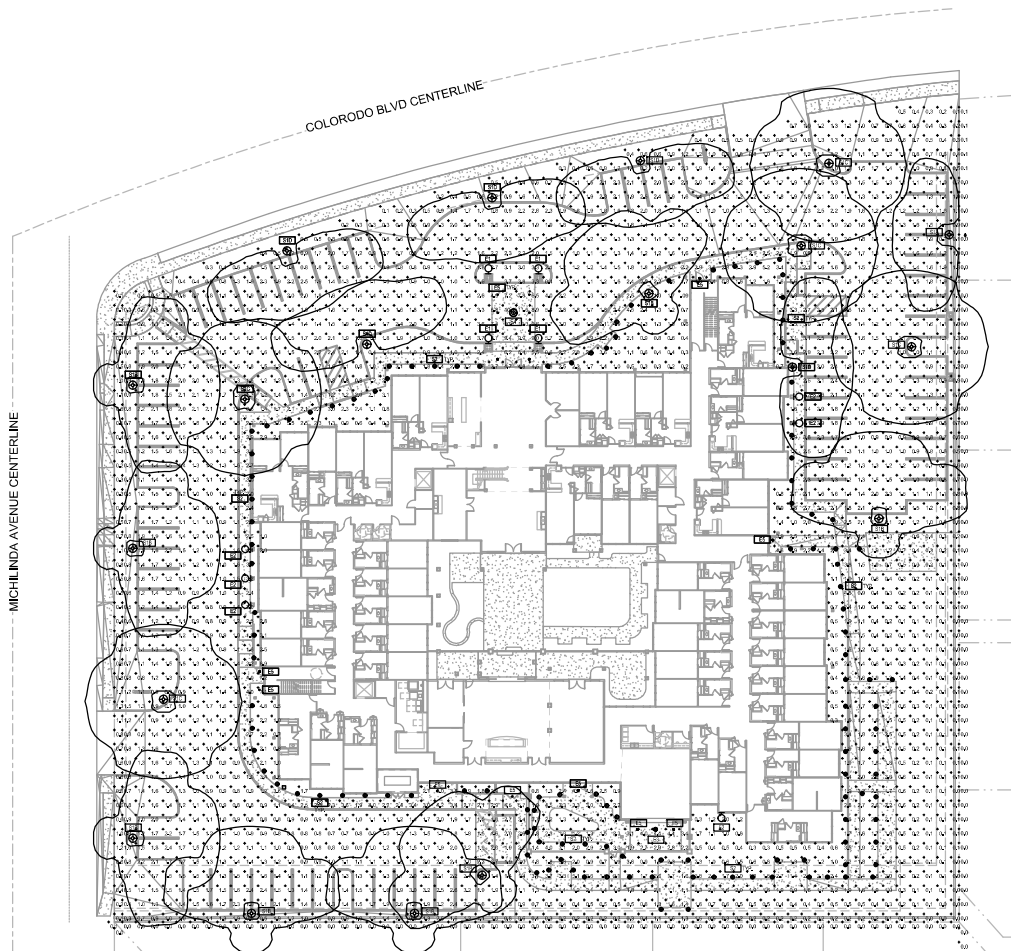
**DC ENGINEERING**  
Civil | Mechanical | Electrical | Plumbing  
1150 W. COLORADO BLVD., SUITE 200  
ARCADIA, CA 91007

PROJECT NO.	2362
DESIGN BY	W
CHECKED BY	SS
SUBMITTAL DATE	11/02/2023
ISS DATE	

**ELECTRICAL SITE PLAN**

ES 01

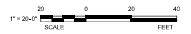
GENERAL PHOTOMETRIC NOTES  
 \* VALUES SHOWN INDICATE ESTIMATED ILLUMINANCE LEVEL AT  
 GRADE IN FOOT-CANDELS



MICHLINDA AVENUE CENTERLINE

COLORADO BLVD CENTERLINE

1 SITE PHOTOMETRIC PLAN  
 SCALE: 1" = 20'-0"



b hills architecture, PC  
 2755 south bowen way  
 suite 100 | daly | CA 94588  
 p. 208.258.6150  
 www.bhillsarch.com

**The Ivy at Arcadia**  
 1150 W. COLORADO BLVD.  
 ARCADIA, CA 91007

**O&I**  
 DEVELOPMENT  
 475 CH. DEVELOPMENT  
 3 PARK PLAZA, SUITE 700  
 IRVINE, CA 92614

**DC ENGINEERING**  
 Civil | Electrical | Mechanical | Plumbing  
 1150 W. COLORADO BLVD., SUITE 100  
 ARCADIA, CA 91007

REVISIONS:

NO.	DATE	DESCRIPTION

PROJECT NO.	2362
DESIGN BY	LM
CHECKED BY	SS
SUBMITTAL DATE	1/24/2023
ISS DATE	1/24/2023

SITE PHOTOMETRIC PLAN

ES 02



**LAMPS PLUS**  
THE NATION'S LARGEST LIGHTING RESELLER

# / Indoor Case Code / Style # 6141



**Hinkley Cape Cod 101 High Aged Zinc Outdoor Wall Light**

**\$199.00**  
Pay in 4 interest-free payments of \$49.75 with PayPal. [LEARN MORE](#)

**FREE SHIPPING & FREE RETURNS\*** | [Learn More About Us](#)

In Stock - [Check In-Store](#)

1 ADD TO CART

Need Help? Call 800-792-1987 or [Live Chat](#)

**Product Details**

An attractive accent for your outdoor space, caged clear steady glass and an aged zinc trim give classic construction to this outdoor wall light.

**Additional Info:**

Featuring a solid aluminum construction for durability that will stand up to the elements, this outdoor wall light is a striking traditional accent full of charm and old world appeal. This metal casing encloses the clear steady glass globe and is capped at the top and bottom with metal accents, all finished in rustic aged zinc. The light fixture is securely mounted to the flush mount base plate, but also features a curved metal hanger that lends classic charm to this fixture from the Cape Cod Collection by Hinkley Lighting.

- 18" high x 6 3/4" wide. Extends 10" from the wall. Backplate is 4 1/4" wide x 3 1/2" high.
- Uses one (included) 75-watt standard medium base bulb (not included).
- Finish: Rustic Aged Zinc (see color key) Hinkley Lighting.
- Small outdoor wall light. Based on rustic industrial lanterns.
- Aged zinc finish. Solid aluminum construction. Clear steady glass.
- Wet location rated for outdoor use. Can also be used indoors. ADA compliant.

**HINKLEY**

Shop all Hinkley

**Specifications**

**PRODUCT ATTRIBUTES**

Finish: Black

**TECHNICAL SPECIFICATIONS**

Max Wattage: 75 watts

E1

**LAMPS PLUS**  
THE NATION'S LARGEST LIGHTING RESELLER

# / Outdoor Lighting / Wall Light / 1 - 18" Hg / Black / Style # 6142



**Hinkley Cape Cod 101 High Aged Zinc Outdoor Wall Light**

**\$199.00**  
Pay in 4 interest-free payments of \$49.75 with PayPal. [LEARN MORE](#)

**FREE SHIPPING & FREE RETURNS\*** | [Learn More About Us](#)

In Stock - [Check In-Store](#)

1 ADD TO CART

Need Help? Call 800-792-1987 or [Live Chat](#)

**Product Details**

Perfect for adding accent lighting to a patio or driveway, this small outdoor wall light is a classic style enhanced with a lovely aged zinc finish.

**Additional Info:**

Featuring a solid aluminum construction for durability that will stand up to the elements, this outdoor wall light is a striking traditional accent full of charm and old world appeal. This metal casing encloses the clear steady glass globe and is capped at the top and bottom with metal accents, all finished in rustic aged zinc. The light fixture is securely mounted to the flush mount base plate, but also features a curved metal hanger that lends classic charm to this fixture from the Cape Cod Collection by Hinkley Lighting.

- 18" high x 2 1/4" wide. Extends 8" from the wall. Backplate is 4 1/2" wide x 3 1/2" high.
- Uses one (included) 60-watt standard medium base bulb (not included). A decorative Edison filament bulb is recommended.
- Wet location wall light. Based on rustic and industrial style lanterns and fixtures.
- From the Cape Cod collection by Hinkley Lighting. Wet location outdoor rated. ADA compliant.
- Aged zinc finish. Solid aluminum construction. Clear steady glass.

**HINKLEY**

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**Specifications**

**PRODUCT ATTRIBUTES**

Finish: Black

**TECHNICAL SPECIFICATIONS**

Height: 18.00 inches

E2

**LAMPS PLUS**  
THE NATION'S LARGEST LIGHTING RESELLER

# / Outdoor Lighting / Hanging Lantern / 18 - 20 in High / Black / Style # 6143



**Hinkley Cape Cod 101 High Aged Zinc Outdoor Hanging Light**

**\$429.00**  
Pay in 4 interest-free payments of \$107.25 with PayPal. [LEARN MORE](#)

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1 ADD TO CART

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**Product Details**

Accent the porch or covered deck to classic perfection with this stylish outdoor hanging light finished in aged zinc.

**Additional Info:**

Create a classic appeal in your outdoor space with this charming hanging light from the Cape Cod Collection by Hinkley Lighting. A clear steady glass globe encloses the light bulb and is secured to the fixture. Adorned with this metal casing over the glass and a lantern-style base and cap, this light is finished in aged zinc hangs flush from a base and chain to give a charming, rustic look.

- Classic outdoor hanging light.
- Aged zinc finish.
- Made of solid aluminum construction.
- Clear steady glass.
- From the Cape Cod collection by Hinkley Lighting.
- Maximum 100 watt or equivalent medium base bulb (not included).
- ADA compliant.
- 18" high.
- Canopy diameter 9".

**HINKLEY**

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**Specifications**

**PRODUCT ATTRIBUTES**

Style: Arts and Crafts - Mission

**TECHNICAL SPECIFICATIONS**

UPC Code: 640665202178



Shills architecture, PC  
3756 South Down Way  
Suite 103 | Irvine, CA 92614  
P: 949.258.6150  
www.shillsarch.com

The Ivy at  
Arcadia  
1150 W. COLORADO BLVD.  
ARCADIA, CA 91007



O&I DEVELOPMENT  
1750 PARKWAY  
3 PARK PLAZA, SUITE 1000  
IRVINE, CA 92614



DC ENGINEERING  
Central Planning, Dynamic Solutions  
PHOTOGRAPHY

REVISIONS

PROJECT NO.	2362
DESIGNED BY	101
SUBMITTAL DATE	SSS
ISS DATE	1/10/2023

**LIGHTING CUTSHEETS**

E S O 4

1/10/2023 10:58:57 AM

E4

**LAMPS PLUS**  
THE NATION'S LARGEST LIGHTING RESELLER

# / Outdoor Lighting / Post Light / 21 - 23 in High / Black / Style # 6144



**Hinkley Cape Cod 28 3/4 High Aged Zinc Outdoor Post Light**

**\$579.00**  
Pay in 4 interest-free payments of \$144.75 with PayPal. [LEARN MORE](#)

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1 ADD TO CART

Need Help? Call 800-792-1987 or [Live Chat](#)

**Product Details**

Finished in aged zinc, this outdoor post light features an attractive clear steady glass globe that enhances any landscaping.

**Additional Info:**

Featuring a striking globe of clear steady glass, this outdoor post light is a lovely accent for lighting the path through your landscaping. Sturdy solid aluminum construction encase a standard light that will serve for years to come, while the aged zinc finish lends an old world charm. The glass globe is accented with a ringed, clear metal enclosure and capped off with a ribbed cone with a loop accent. This outdoor post light is from the Cape Cod Collection by Hinkley Lighting.

- 23 3/4" high x 14" wide.
- Uses four 40 watt or equivalent compact base bulbs (not included).
- Large size outdoor post light from the Cape Cod collection by Hinkley Lighting.
- Aged zinc finish. Solid aluminum construction. Linear steady glass.
- Post light only. Fits on a 3" diameter post (not included). They also be pre-mounted with an adaptor which is sold separately.
- Wet location outdoor rated.

**HINKLEY**

Shop all Hinkley

**Specifications**

**PRODUCT ATTRIBUTES**

Style: Arts and Crafts - Mission

Finish: Black

**TECHNICAL SPECIFICATIONS**

Height: 23.75 inches

UPC Code: 640665202000



# **Attachment No. 4**

Arborist Report  
dated April 2024

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Protected Tree Report:  
Tree Survey, Encroachment,  
Protection and Mitigation  
1150 W. Colorado Boulevard  
Arcadia, CA 91006

---

Prepared For: Carissa Savant  
O & I Development  
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November 2023  
Revised April 2024

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## SUMMARY OF DATA

Total number of healthy Protected Trees on property including street trees located in the adjacent public right-of-way area . . . . .	12
Total number of off-site Protected Trees with canopies (driplines) encroaching onto the property . . . . .	4
Total number of diseased/hazardous Protected Trees on site proposed for removal . . . . .	0
Total number of healthy Protected Trees (on and off site) to be preserved . . . . .	16
Total number of healthy Protected Trees to be removed . . . . .	0
Total number of Protected Trees that will be preserved, which will be impacted by construction within dripline (encroached) . . . . .	0
Total number of Protected Trees with no significant dripline encroachments . . . . .	16
Total number of proposed mitigation trees to be planted on site . . . . .	0
Total number of non-protected trees on site . . . . .	60
Total number of non-protected trees planned for removal . . . . .	22

## BACKGROUND & PURPOSE

I was retained by O & I Development, to be the consulting arborist for the planned redevelopment of the property located at 1150 W. Colorado Blvd. There are Protected Trees located on the property; in the right-of-way area connected to the property; and off-site with portions of their driplines extending over the property. The proposed construction will encroach these trees and this report will serve to both notify the City of Arcadia Planning Division of the extent of the anticipated impacts as well as to inform the builder of the proper protection measures which must be taken in order to preserve the trees. As part of my preparation for this report I made a site visit to the property on November 9, 2023. I was provided with a full-scale Site Plan for my analysis.

## PROJECT DESCRIPTION & TREE ORDINANCE



*This aerial view (courtesy of Apple Maps) has been illustrated to show the approximate boundary lines (orange).*

The property is the longtime location of Coco's Bakery restaurant. A very large parking lot surrounds the building. The property will be redeveloped into an assisted living facility.

The landscape is maintained and the woody plants and trees are in good condition. Most of the Protected Trees appear to be in good health and structural conditions. The landscape will be renovated and the vast majority of both Protected and non-protected trees will be incorporated into the new design.

## City of Arcadia Tree Ordinance

### **Oaks, Sycamore, and many other tree species are Protected under the various tree ordinances. Here is a summary of the tree protection laws.**

On January 21, 1992 the City Council adopted Ordinance No. 1962 recognizing oak trees as significant aesthetic and ecological resources and establishing criteria for the preservation of oak trees. The regulations (Chapter 7 of the Arcadia Municipal Code) provide that the following oak trees shall not be removed, relocated, damaged, or have their protected zones encroached upon unless an Oak Tree Permit is granted:

- Engelmann Oaks (*Quercus engelmannii*) or Coast Live Oak, California Live Oak (*Quercus agrifolia*) which have a trunk diameter larger than four (4) inches measured at a point four and one half (4 ½) feet above the crown root, or, two (2) or more trunks measuring three (3) inches each or greater in diameter, measured at a point four and one half (4 ½) feet above the crown root.
- Any other living oak tree with a trunk diameter larger than twelve (12) inches measured at a point four and one half (4 ½) feet above the crown root, or, two (2) or more trunks measuring ten (10) inches each or greater in diameter measured at a point four and one half (4 ½) feet above the crown root.

On March 3, 2015, the City Council adopted Ordinance No. 2323 amending the code to add Sycamore trees to the list of City's Tree Preservation Regulations. The protected trees are Oak and Sycamore trees. Protected Sycamore trees are defined as:

- *Plantanus racemosa* (Sycamore) with a trunk diameter larger than six (6) inches measured at a point four and one-half (4½) feet above the root crown, or two (2) or more trunks measuring four (4) inches each or greater in diameter, measured at a point four and one-half (4½) feet above the root crown.

On August 2, 2016, The City Council adopted Ordinance No. 2338 to add additional protected trees and unprotected trees to the City's tree preservation regulations. In September, the City began protecting mature trees that are located within a required front, side, street-side, or rear yard setback area that are either larger than 12 inches in diameter or two or more trunks larger than 10 inches in diameter if there are multiple trunks.

Below is a list of the unprotected trees:

1. Fruit trees
2. *Fraxinus uhdei* (Shamel Ash)
3. Ficuses – Exception: *Ficus macrophylla* (Moreton Bay Fig)
4. Eucalyptus
5. *Ailanthus altissima* (Tree of Heaven)
6. *Arecaceae* (Palm Tree)
7. *Schinus terebinthifolius* (Brazilian Pepper)
8. *Ceratonia siliqua* (Carob)
9. *Betula pendula* (European White Birch)
10. *Grevillea robusta* (Silk Oak)
11. *Morus* (Mulberry)
12. *Acer saccharinum* (Silver Maple)
13. *Cupressus sempervirens* (Italian cypress)
14. *Populus Fremontii* (Western Cottonwood)
15. *Alnus rhombifolia* (White Alder)
16. *Populus trichocarpa* (Black Cottonwood)
17. *Populus* 'Highland' hybrid
18. *Salix lasiolepis* (Arroyo Willow)
19. *Liquidambar* (Sweet Gum)

## TREE SURVEY

This table lists all trees with trunk diameters measuring four inches or greater located on the property, as well as all other trees with trunk diameters measuring six inches or greater located on or encroaching onto the property. Off-site trees are indicated with an “os” next to their tree numbers. Multi-trunked specimens are indicated next to the trunk diameter with an “m” and the diameters of the two largest trunks are listed. A determination is then provided for the protected status of each tree based on criteria of species, size and location. All street trees or trees in public areas are Protected regardless of species or size and these trees are marked with an asterisk in the Location column. Tree numbers correspond to the tree locations plotted on the Site Plan included in this report and to all references to each tree in this report. Only Protected Trees non-street trees have numbered tags affixed to their trunks.

### Tree Survey for 1150 W. Colorado Blvd., Arcadia

Tree Identification				Protected Status			
Tree #	Botanical Name	Common Name	Trunk Diameter	Protected Species	Minimum Required Size	Located in Protected Area	PROTECTED TREE
1	Cupaniopsis a.	Carrotwood	6"	Yes	No	Yes	No
2	Podocarpus gracilior	Fern Pine	13"	Yes	Yes	Yes	Yes
3	Podocarpus gracilior	Fern Pine	15"	Yes	Yes	Yes	Yes
4	Cupaniopsis a.	Carrotwood	8"	Yes	No	Yes	No
5	Podocarpus gracilior	Fern Pine	11"	Yes	No	Yes	No
6	Cupaniopsis a.	Carrotwood	10"	Yes	No	Yes	No
7	Cupaniopsis a.	Carrotwood	11"	Yes	No	Yes	No
8	Cupaniopsis a.	Carrotwood	7	Yes	No	Yes	No
9	Podocarpus gracilior	Fern Pine	6"	Yes	No	Yes	No
10	Podocarpus gracilior	Fern Pine	8"	Yes	No	Yes	No
11	Podocarpus gracilior	Fern Pine	6"	Yes	No	Yes	No
12	Podocarpus gracilior	Fern Pine	6"	Yes	No	Yes	No
13	Podocarpus gracilior	Fern Pine	8"	Yes	No	Yes	No

## Tree Survey for 1150 W. Colorado Blvd., Arcadia

Tree Identification				Protected Status			
Tree #	Botanical Name	Common Name	Trunk Diameter	Protected Species	Minimum Required Size	Located in Protected Area	PROTECTED TREE
14	Podocarpus gracilior	Fern Pine	8"	Yes	No	Yes	No
15	Podocarpus gracilior	Fern Pine	6"	Yes	No	Yes	No
16	Podocarpus gracilior	Fern Pine	10"	Yes	No	Yes	No
17	Podocarpus gracilior	Fern Pine	9"	Yes	No	Yes	No
18	Podocarpus gracilior	Fern Pine	10"	Yes	No	Yes	No
19	Cupaniopsis a.	Carrotwood	6"	Yes	No	Yes	No
20	Podocarpus gracilior	Fern Pine	5"	Yes	No	Yes	No
21	Podocarpus gracilior	Fern Pine	10"	Yes	No	Yes	No
22	Podocarpus gracilior	Fern Pine	9"	Yes	No	Yes	No
23	Cupaniopsis a.	Carrotwood	6"	Yes	No	Yes	No
24	Podocarpus gracilior	Fern Pine	8"	Yes	No	Yes	No
25	Podocarpus gracilior	Fern Pine	10"	Yes	No	Yes	No
26	Cupaniopsis a.	Carrotwood	8"	Yes	No	Yes	No
27	Podocarpus gracilior	Fern Pine	14"	Yes	Yes	Yes	Yes
28	Cupaniopsis a.	Carrotwood	7"	Yes	No	Yes	No
29	Podocarpus gracilior	Fern Pine	14"	Yes	Yes	Yes	Yes
30	Cupaniopsis a.	Carrotwood	14"	Yes	Yes	Yes	Yes
31	Podocarpus gracilior	Fern Pine	M 10",12"	Yes	Yes	Yes	Yes
32	Podocarpus gracilior	Fern Pine	9"	Yes	No	Yes	No
33	Podocarpus gracilior	Fern Pine	10"	Yes	No	Yes	No
34	Cupaniopsis a.	Carrotwood	10"	Yes	No	Yes	No

## Tree Survey for 1150 W. Colorado Blvd., Arcadia

Tree Identification				Protected Status			
Tree #	Botanical Name	Common Name	Trunk Diameter	Protected Species	Minimum Required Size	Located in Protected Area	PROTECTED TREE
35	Podocarpus gracilior	Fern Pine	10"	Yes	No	Yes	No
36	Cupaniopsis a.	Carrotwood	12"	Yes	Yes	Yes	Yes
37	Schinus terebinthifolius	Brazilian Pepper	12"	No	Yes	Yes	No
38	Podocarpus gracilior	Fern Pine	8"	Yes	No	Yes	No
39	Cupaniopsis a.	Carrotwood	5"	Yes	No	Yes	No
40	Pyrus kawakamii	Japanese Pear	5"	Yes	No	Yes	No
41	Pyrus kawakamii	Japanese Pear	M 5", 7"	Yes	No	Yes	No
42	Pyrus kawakamii	Japanese Pear	9"	Yes	No	Yes	No
43	Pyrus kawakamii	Japanese Pear	17"	Yes	Yes	Yes	Yes
44	Magnolia grandiflora	So. Magnolia	13"	Yes	Yes	Yes	Yes
45	Magnolia grandiflora	So. Magnolia	11"	Yes	No	Yes	No
46	Magnolia grandiflora	So. Magnolia	11"	Yes	No	Yes	No
47	Magnolia grandiflora	So. Magnolia	11"	Yes	No	Yes	No
48	Stump of removed tree	n/a	4"	Yes	No	Yes	No
49	Cedrus deodara	Deodar Cedar	16"	Yes	Yes	Yes	Yes
50	Stump of removed tree	n/a	n/a	n/a	n/a	n/a	No
51	Cedrus deodara	Deodar Cedar	6"	Yes	No	Yes	No
52	Sequoia sempervirens	Coast Redwood	40"	Yes	Yes	Yes	Yes
53	Pittosporum undulatum	Victorian Box	M 9", 9"	Yes	No	Yes	No
54	Pittosporum undulatum	Victorian Box	M 5", 4"	Yes	No	Yes	No
55	Pittosporum undulatum	Victorian Box	M 6", 4"	Yes	No	Yes	No

## Tree Survey for 1150 W. Colorado Blvd., Arcadia

Tree Identification				Protected Status			
Tree #	Botanical Name	Common Name	Trunk Diameter	Protected Species	Minimum Required Size	Located in Protected Area	PROTECTED TREE
56	Cedrus deodara	Deodar Cedar	26"	Yes	Yes	Yes	Yes
57	Pittosporum undulatum	Victorian Box	10"	Yes	No	Yes	No
58	Eucalyptus citriodora	Lemon Gum	22"	No	Yes	No	No
59	Eucalyptus citriodora	Lemon Gum	18"	No	Yes	No	No
60	Eucalyptus citriodora	Lemon Gum	22"	No	Yes	No	No
61	Eucalyptus citriodora	Lemon Gum	20"	No	Yes	No	No
62	Eucalyptus citriodora	Lemon Gum	19"	No	Yes	No	No
63	Eucalyptus citriodora	Lemon Gum	19"	No	Yes	No	No
64	Eucalyptus citriodora	Lemon Gum	15"	No	Yes	No	No
65	Eucalyptus citriodora	Lemon Gum	16"	No	Yes	No	No
66	Podocarpus gracilior	Fern Pine	34"	Yes	Yes	No	No
67	Eucalyptus citriodora	Lemon Gum	22"	No	Yes	No	No
68	Eucalyptus citriodora	Lemon Gum	20"	No	Yes	No	No
69	Eucalyptus citriodora	Lemon Gum	20"	No	Yes	No	No
70	Eucalyptus citriodora	Lemon Gum	14"	No	Yes	No	No
71	Eucalyptus citriodora	Lemon Gum	20"	No	Yes	No	No
72	Pyrus kawakamii	Japanese Pear	11"	Yes	No	No	No
73os	Pinus canariensis	Canary Is. Pine	20"	Yes	Yes	Yes	Yes
74os	Pinus canariensis	Canary Is. Pine	20"	Yes	Yes	Yes	Yes
75os	Pinus canariensis	Canary Is. Pine	20"	Yes	Yes	Yes	Yes
76os	Pinus canariensis	Canary Is. Pine	20"	Yes	Yes	Yes	Yes

This chart includes all Protected Trees that are either located or encroaching on the property. It provides physical data collected from field observations. The trees have been surveyed and numbers correspond to the Schematic Landscape Plan included in this report. Tree numbers with an “os” indicate that the specimen is located off-site and a portion of the canopy extends over the subject property. Trunk diameters of multi-trunked specimens are listed with their two largest trunk diameters.

## TREE CHARACTERISTICS & HEALTH MATRIX

CHARACTERISTICS											HEALTH														
		SIZE			FORM		CROWN CLASS			AGE CLASS			FOLIAGE DENSITY			SHOOT GROWTH			WOUND DEFENSE			VIGOR CLASS			
TREE NUMBER	SPECIES	TRUNK DIAMETER (INCHES)	APPROXIMATE HEIGHT (FEET)	AVERAGE SPREAD (FEET)	SYMMETRIC	ASYMMETRIC	DOMINANT	CO-DOMINANT	SUPPRESSED	YOUNG	MATURE	OVERMATURE	NORMAL	SPARSE	DISEASE / INSECT	AVERAGE	POOR	TWIG DIEBACK	NORMAL	POOR	WOOD DECAY	GOOD	POOR	DISEASED/HAZARDOUS	
2	Podocarpus gracilior	13	30	20	X			X			X		X			X			X			X			
3	Podocarpus gracilior	15	30	20	X			X			X		X			X			X			X			
27	Podocarpus gracilior	14	30	20	X			X			X		X			X			X			X			
29	Podocarpus gracilior	14	30	20	X			X			X		X			X			X			X			
30	Cupaniopsis a.	14	25	20	X			X			X		X			X			X			X			
31	Podocarpus gracilior	M 10" 12"	35	20	X			X			X		X			X			X			X			
36	Cupaniopsis a.	12	25	20	X			X			X		X			X			X			X			
43	Pyrus kawakamii	17	20	20	X		X				X		X			X		X	X				X		
44	Magnolia grandiflora	13	25	20	X			X			X		X			X			X			X			

## TREE CHARACTERISTICS & HEALTH MATRIX

CHARACTERISTICS											HEALTH												
TREE NUMBER	SPECIES	SIZE			FORM		CROWN CLASS			AGE CLASS			FOLIAGE DENSITY			SHOOT GROWTH		WOUND DEFENSE		VIGOR CLASS			
		TRUNK DIAMETER (INCHES)	APPROXIMATE HEIGHT (FEET)	AVERAGE SPREAD (FEET)	SYMMETRIC	ASYMMETRIC	DOMINANT	CO-DOMINANT	SUPPRESSED	YOUNG	MATURE	OVERMATURE	NORMAL	SPARSE	DISEASE / INSECT	AVERAGE	POOR	TWIG DIEBACK	NORMAL	POOR	WOOD DECAY	GOOD	POOR
49	Cedrus deodara	16	35	30	X		X			X			X			X	X		X	X		X	
52	Sequoia sempervirens	40	60	40	X		X			X			X			X		X				X	
56	Cedrus deodara	26	45	40	X		X			X		X			X			X			X		
73 <sub>os</sub>	Pinus canariensis	20	60	40	X			X		X		X			X			X			X		
74 <sub>os</sub>	Pinus canariensis	20	60	40	X			X		X		X			X			X			X		
75 <sub>os</sub>	Pinus canariensis	20	60	40	X			X		X		X			X			X			X		
76 <sub>os</sub>	Pinus canariensis	20	60	40	X			X		X		X			X			X			X		

This chart includes all Protected Trees that are located on the property and any off-site Protected Trees extending over the property. It provides data collected from the analysis of construction plans. The tree has been surveyed and numbers correspond to the Schematic Landscape Plan included in this report. Tree numbers with an “os” indicate that the specimen is located off-site and a portion of the canopy extends over the subject property. For rootzone impacts, the required excavation is considered only for unbuffered areas. Areas that excavation will occur where existing similar infrastructure exists, e.g. overexcavation and compaction in the footprint of existing home foundation, grading for driveway in the footprint of existing driveway, are considered non-significant encroachments.

## CONSTRUCTION IMPACTS MATRIX

TREE NUMBER	TREE SPECIES	SIZE & CONDITION		ROOTZONE IMPACTS						REQUIRED PRUNING OF LIVE CROWN					
		TRUNK DIAMETER (DBH)	CONDITION	Sides of tree where excavation (six inches or deeper) will occur	Sides where excavation impacts are buffered by existing infrastructure	Excavation will remain a distance of at least 10 X DBH from trunk	Excavation will remain a distance of at least 5 X DBH from trunk	Excavation will remain a distance of at least 3 X DBH from the trunk	Removal or Relocation	Additional light grading less than 6" deep to occur within dripline	Estimated % of total root mass to be removed or severed	No Pruning Required	Pruning not to exceed 10%	Pruning not to exceed 30%	Number of cuts larger than 3" in diameter required
	Protected Trees: <ul style="list-style-type: none"> <li>Quercus agrifolia, engelmannii, and any other species of Quercus genus larger than 12"</li> <li>Platanus racemosa</li> <li>Any tree located in the public right-of-way</li> <li>All other species 12" or larger that are not on the exemption list</li> </ul>														
2	Podocarpus gracilior	13	Good	None	-					Yes	<20			0	N/A
3	Podocarpus gracilior	15	Good	None	-					Yes	<20			0	N/A
27	Podocarpus gracilior	14	Good	None	-					Yes	<20			0	N/A
29	Podocarpus gracilior	14	Good	None	-					Yes	<20			0	N/A
30	Cupaniopsis anacardioides	14	Good	None	-					Yes	<20			0	N/A

## CONSTRUCTION IMPACTS MATRIX

TREE NUMBER	TREE SPECIES	SIZE & CONDITION		ROOTZONE IMPACTS						REQUIRED PRUNING OF LIVE CROWN						
		TRUNK DIAMETER (DBH)	CONDITION	Sides of tree where excavation (six inches or deeper) will occur	Sides where excavation impacts are buffered by existing infrastructure.	Excavation will remain a distance of at least 10 X DBH from trunk	Excavation will remain a distance of at least 5 X DBH from trunk	Excavation will remain a distance of at least 3 X DBH from the trunk	Removal or Relocation	Additional light grading less than 6" deep to occur within dripline	Estimated % of total root mass to be removed or severed	No Pruning Required	Pruning not to exceed 10%	Pruning not to exceed 30%	Number of cuts larger than 3" in diameter required	Diameter of cuts for branch removals
	Protected Trees: <ul style="list-style-type: none"> <li>Quercus agrifolia, engelmannii, and any other species of Quercus genus larger than 12"</li> <li>Platanus racemosa</li> <li>Any tree located in the public right-of-way</li> <li>All other species 12" or larger that are not on the exemption list</li> </ul>															
31	Podocarpus gracilior	22	Good	None	E					Yes	<20				0	N/A
36	Cupaniopsis anacardioides	12	Good	None	E					Yes	<20				0	N/A
43	Pyrus kawakamii	17	Good	E	E					Yes	<20				0	N/A
44	Magnolia grandiflora	13	Good	None	E					Yes	<20				0	N/A
49	Cedrus deodara	16	Poor	None	E					Yes	<20				0	N/A

## CONSTRUCTION IMPACTS MATRIX

TREE NUMBER	TREE SPECIES	SIZE & CONDITION		ROOTZONE IMPACTS						REQUIRED PRUNING OF LIVE CROWN					
		TRUNK DIAMETER (DBH)	CONDITION	Sides of tree where excavation (six inches or deeper) will occur	Sides where excavation impacts are buffered by existing infrastructure.	Excavation will remain a distance of at least 10 X DBH from trunk	Excavation will remain a distance of at least 5 X DBH from trunk	Excavation will remain a distance of at least 3 X DBH from the trunk	Removal or Relocation	Additional light grading less than 6" deep to occur within dripline	Estimated % of total root mass to be removed or severed	No Pruning Required	Pruning not to exceed 10%	Pruning not to exceed 30%	Number of cuts larger than 3" in diameter required
	Protected Trees: <ul style="list-style-type: none"> <li>Quercus agrifolia, engelmannii, and any other species of Quercus genus larger than 12"</li> <li>Platanus racemosa</li> <li>Any tree located in the public right-of-way</li> <li>All other species 12" or larger that are not on the exemption list</li> </ul>														
52	Sequoia sempervirens	40	Fair	S	S				Yes	<20				0	N/A
56	Cedrus deodara	26	Good	E	E				Yes	<20				0	N/A
73os	Pinus canariensis	20	Good	E	E				Yes	<20				0	N/A
74os	Pinus canariensis	20	Good	E	E				Yes	<20				0	N/A
75os	Pinus canariensis	20	Good	E	E				Yes	<20				0	N/A
76os	Pinus canariensis	20	Good	E	E				Yes	<20				0	N/A

## DESIGN ANALYSIS OF PROTECTED TREE ENCROACHMENTS

**Refer to Site Plan / Schematic Landscape Plan located in pocket at back of this report, and Photos in Appendix A, page 16.**

Analysis regarding rootzone impacts are based on the type of impact, e.g, soil compaction, grading, and excavation; as well as the distance from the trunk that the impacts will occur. It is commonly accepted among professional arborists that a distance equal to three times a trunk's diameter contains the structural roots responsible for keeping the tree upright. This critical rootzone area is defined as the root plate. Beyond the root plate the roots typically taper off into smaller, less significant sizes. These smaller roots are usually two inches in diameter or smaller and make up the rootmass responsible for water and nutrient uptake. Although roots of these sizes can be cut without significantly impacting health and stability it is advised that no more than 30 percent of the rootmass within the dripline is severed. The bulk of the rootmass is located within the top three feet of soil and root growth slows or halts when soil bulk density exceeds 1.60 g/cm<sup>3</sup> for most soils. More information regarding rootzone impacts is provided in the Excavation and Root Pruning section of the Construction Impact Guidelines, Appendix D.

**Trees #2, #3, #27, #29, #30, #31 and #36 – Fern Pines, Carrotwoods:** Located in a narrow planter area that spans the entire east and south boundaries of the property. The trees are part of an established hedge consisting mostly of Fern Pine (*Podocarpus gracilior*). An asphalt parking lot exists beyond the planter. A new parking lot will be rebuilt on the east and south sides of the property similar to the existing one and all of the trees, along with the rest of the hedge, will be situated in a similar planter. Additional plants will be planted among the hedge to maximize its screening function. No significant excavation or grading will encroach and no pruning is required to complete the project. Normal maintenance pruning is likely to occur to shape and maintain the screening hedge.

**Tree #43– Japanese Pear:** Located in a narrow planter at the existing entrance to the parking lot off of Michillinda Ave. The entry and parking lot will be removed in this area and will become part of the designed landscape. The tree will be incorporated into the design. A modest amount of excavation or grading will encroach and no pruning is required to complete the project.

**Tree #44– Southern Magnolias:** Located along the west property line, along the Michillinda Ave. sidewalk. The tree is not located in the parkway strip of the right-of-way; although it and three other non-protected Southern Magnolias function as street trees. This and the others (Trees #45, #46 and #47) will be incorporated into the

landscape design. No significant excavation or grading will encroach and no pruning is required to complete the project.

**Tree #49 - Deodar Cedar:** Located along the north property line, along the Colorado Blvd. sidewalk. The tree is not located in the parkway strip of the right-of-way; although it functions as a street tree. It is in moderate decline and approximately 25% of the branches in the crown are dead. No significant excavation or grading will encroach and no pruning is required to complete the project. Another smaller non-protected Deodar (Tree #51) with a trunk diameter measuring 6 inches is located in this area along the sidewalk and the stumps of two other tree that died (Trees #48 and #50), most likely Cedars, are also in the area. The live non-protected Cedar will be preserved and the stumps will count as a non-protected tree removals.

**Tree #52 – Coast Redwood:** Located in a relatively small planter in the existing parking lot. The planter will be expanded and the tree will be situated at the drop-off area at the main entry to the building. No significant excavation or grading will encroach and no pruning is required to complete the project.

**Tree #56 – Deodar Cedar:** Located in the parkway strip at the northeast corner of the property. This is the only true street tree connected to the property. It will be preserved. No significant excavation or grading will encroach and no pruning is required to complete the project.

**Trees #73, #74, #75 and #76 – Canary Island Pines:** Located off-site on the property to the south. The existing block wall on the property line will remain. No significant excavation or grading will encroach and no pruning is required to complete the project.

## FINDINGS

- All 16 Protected Trees (12 on site and 4 off-site) will be preserved.
- Significant excavation or grading planned to occur in the driplines of the Protected Trees will occur at distances from the trunks where it is unlikely that significant roots will be encountered and modest amounts of each tree's total rootmass will be severed.
- No pruning of the live crown of any Protected Tree is required to complete the project.
- Typical landscape renovations will encroach each of the 12 Protected Trees located on site, but will not require any significant grading or excavation. The four off-site Protected Trees will not be encroached by any work.
- There are 60 non-protected trees located on the property; and among these 22 will be removed. They include the following: Trees #48 and #50, which are old remaining stumps of what are presumed to be Deodar Cedars; Trees #53 and #54, #55 and #57, Victorian Box trees; Trees #58, #59, #60, #61, #62, #63, #64, #65, #67, #68, #69, #70, and #71, Lemon-Scented Gum trees; Tree #66, a Fern Pine; and Trees #42 and #72, Japanese Evergreen Pears. Most of the trees are located outside of the required setbacks and in the buildable area of the property. Those located within the required setbacks are in poor condition.

## MITIGATION

No Protected Trees will be removed and all can be reliably preserved in place. Therefore, no mitigation is proposed.

## RECOMMENDATIONS

As with many construction projects, soil compaction is the most preventable impact that will need to be monitored in order to provide reliable protection and long-term preservation of the trees. To prevent unnecessary soil compaction a Tree Protection Zones must be established around the Protected Trees before any demolition occurs. The goal is to enclose the largest possible amount of space underneath the tree so that the heavy equipment required for demolition and construction can be routed away from root zones. The recommended Protection Zones are drawn in dashed lines on the Site Plan of this report.

- Prior to demolition the contractor and consulting arborist shall meet on site to make sure Tree Protection Zones are established and to review the goals for the tree protection plan. **The locations and areas of the Protection Zones are drawn with a dashed line on the Site Plan included in this report.**

- Tree Protection Zone fences shall be at least four feet tall and constructed of chain link fencing secured on metal posts. Where fences are not feasible, e.g., in haul routes or areas where workers will need frequent access, soil and root protection material can be installed. Examples of these are provided in Appendix B.
- Maintain the fences and/or soil protection material throughout the completion of the project. No staging of materials or equipment or washing-out is to occur within the fenced protected zones.
- Refer to the Construction Impact Guidelines in Appendix C for important general preservation measures concerning the different elements of this project.
- Trees should be irrigated throughout the year. A deep watering that provides good soil moisture to a depth of 16 inches is optimal. The trees should be deeply watered once every 21-28 days during the summer and fall seasons when rain is unlikely.
- The arborist shall monitor a few critical phases of the project: Pre-demolition to direct the installation of the protective fences and soil protection materials; Grading and excavation; any utility or drainage trenching that is required within a Tree Protection Zone; and a final evaluation during the landscape installation phase.

## APPENDIX A – Photos



ABOVE: Looking northeast at the existing hedge along the east property line, which contains Trees #2 and #3. The hedge will remain. BELOW: Looking southwest at the existing hedge along the south property line. This span of hedge contains Protected Trees and it will remain.





ABOVE: Looking south at the southwest corner of the property. Tree #43 is Protected and will be preserved. Beyond the south property line is a group of four Canary Island Pines (Trees #73 #74, #75 and #76), which slightly extend over the property line. BELOW: Looking north along Michillinda Ave. at a row of Southern Magnolias (Trees #44-#47). Tree #44 is a Protected.





ABOVE: Looking west along Colorado Blvd. Deodar Cedars and a Coast Redwood located on the perimeter of the property. BELOW: Looking east along Colorado Blvd at tree #49, which is in decline. The tree will be retained and monitored.





PHOTO: Looking northwest at Tree #52, a Coast Redwood, which is the largest and most prominent Protected Tree on the property.



ABOVE: Tree #52 will be preserved and situated in a larger planter.  
BELOW: Tree #56 is the only public tree located in the parkway strip along the property's Colorado Blvd. frontage. Several non-protected Pittosporum trees are located along the sidewalk

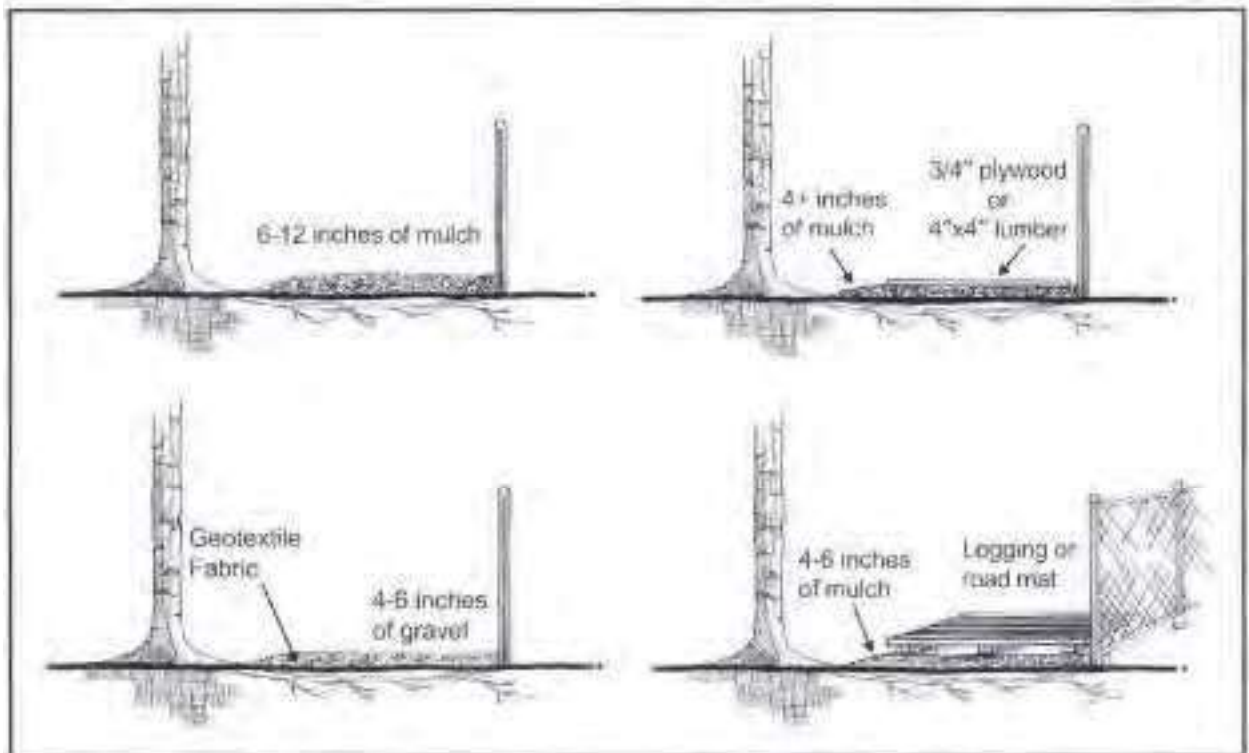


## APPENDIX B - Soil and Root Protection Within the Tree Protection Zone

If traffic cannot be kept outside of the Tree Protection Zone for the entire duration of construction, actions can be taken to disperse the vehicular load and protect the roots, minimizing soil compaction and mechanical root damage. These include:

- 1) Applying 6 to 12 inches of wood chip mulch to the area.
- 2) Laying  $\frac{3}{4}$ -inch thick plywood or 4x4 inch wood beams over a 4+ inch thick layer of wood chip mulch.
- 2) Applying 4 to 6 inches of gravel over a taut, staked geotextile fabric.
- 4) Placing commercial logging or road mats on top of a mulch layer.

Stone, geotextile, and mulch exceeding 4 inches thick will need to be removed from the TPZ once the threat of soil or root damage has passed.

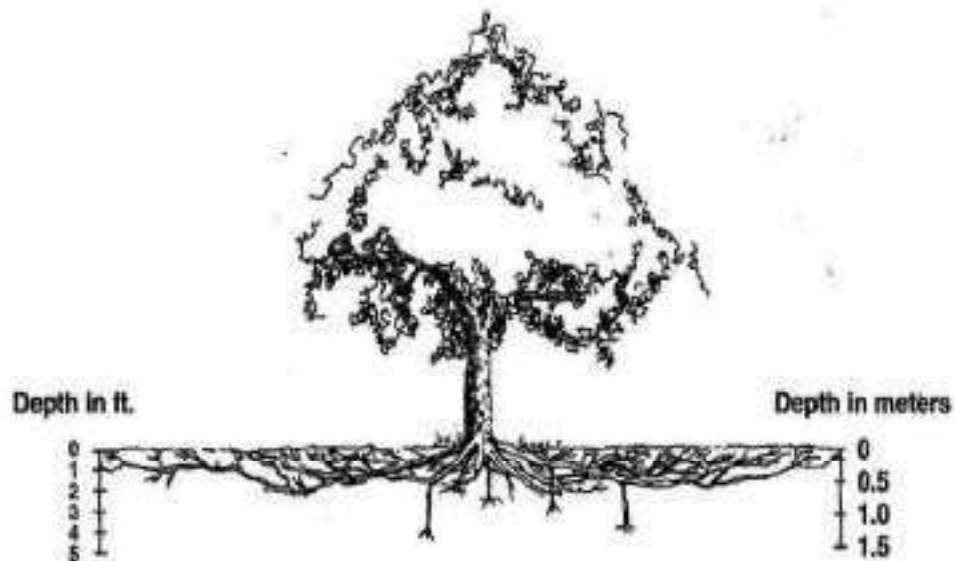


## APPENDIX C - Protected Tree Construction Impact Guidelines

**Size and Distribution of Tree Roots** – Taken from Arboriculture, Integrated Management of Landscape Trees Shrubs and Vines. Harris, R.W., Clark, J.W., Matheny N.P. Prentice Hall 2004.

Roots of most plants, including large trees, grow primarily in the top meter (3 ft) of soil (see figure below). Most plants concentrate the majority of their small absorbing roots in the upper 150 mm (6 in.) of soil if the surface is protected by a mulch or forest litter. In the absence of a protective mulch, exposed bare soil can become so hot near the surface that roots do not grow in the upper 200 to 250 mm (8 to 10 in.). Under forest and many landscape situations, however, soil near the surface is most favorable for root growth. In addition, roots tend to grow at about the same soil depth regardless of the slope of the soil surface.

Although root growth is greatly influenced by soil conditions, individual roots seem to have an inherent guidance mechanism. Large roots with vigorous tips usually grow horizontally. Similar roots lateral to the large roots grow at many angles to the vertical, and some grow up into the surface soil. However, few roots in a root system actually grow down.



**FIGURE** In mature trees, the taproot is either lost or reduced in size. The vast majority of the root system is composed of horizontally oriented lateral roots.

## **The importance of soil**

Soil supports and anchors tree roots and provides water, minerals and oxygen. Furthermore, soil is a habitat for soil microorganisms that enhance root function. A soil's ability to sustain tree growth is largely determined by its texture, structure (bulk density), organic matter, water and mineral content, salinity, aeration, and soil-microbe abundance and diversity.

## **Soil physical properties**

Soil texture – the relative proportion of sand, silt and clay, is important because it affects water – and nutrient-holding capacity, drainage and aeration (gaseous diffusion). Soil structure is the arrangement of individual soil particles into clumps (aggregates). The net result is the formulation of larger voids between the aggregates which serve as channels for gaseous diffusion, movement of water and root penetration. Unfortunately, soil aggregates are readily destroyed by activities that compact the soil (increase bulk density). When this occurs, gaseous exchange, permeability, drainage and root growth are restricted.

The influence of the organic matter content of soil properties is quite significant. Its decomposition by soil organisms releases substances that bind soil particles into larger granules, which improves both soil aeration, and drainage. In essence, the breakdown of organic matter improves water – and nutrient-holding capacity and reduces bulk density. Furthermore, it is the primary source of nitrogen and a major source of nitrogen and a major source of phosphorus and sulfur. Without organic matter soil organisms could not survive and most biochemical processes in the soil would cease.

Soil aeration, the movement and the availability of oxygen, is determined by both soil texture and structure. In general, compacted and finer soils, due to a higher proportion of small pore spaces (micropores), tend to drain slowly and hold less air than coarser, sandy, or well-structured fine soils. Water retained in the small pores displaces oxygen and inhibits gaseous diffusion.

The availability of soil water is largely determined by the size of the pore spaces between the soil particles and the larger aggregates in which water is held. Most of the water in the larger pore spaces drains readily due to gravitational forces. A relatively thin film of water, which is readily available to plant roots, remains following drainage. Much of water held within the smaller pore spaces resists uptake by plant roots because it is held tightly on the soil surfaces.

Plant roots require an adequate supply of oxygen for development. Injury or dysfunction results when oxygen availability drops below a critical level. Root respiration is the first process to be restricted, followed by disruptions in growth, metabolism, nutrient and water uptake, and photosynthesis. Furthermore, the accumulation of high levels of

carbon dioxide, produced by the roots during respiration can also impair root function. Reduced soil aeration resulting from soil compaction, flooding, excess irrigation, or

impervious pavement favors the development of crown rot (*Phytophthora* root disease). It also inhibits mycorrhizal fungi that enhance water and nutrient uptake and resist root pathogens.

The forest floor under a canopy in most undeveloped forests and woodland settings is typically covered by a layer of fallen leaves and other woody debris. It is usually cool, shady, well-aerated, and relatively moist – conditions that favor normal root growth. When the natural leaf litter is removed and when a tree's lower canopy is pruned up to provide clearance, the absorbing roots in the upper few inches of the soil experience higher soil temperatures and increased desiccation due to direct exposure to sunlight.

### **Minimizing the Effects of Construction and Development on Tree Root Systems**

Activities that injure roots or adversely affect the root zone should be avoided or kept as far from the trunk as possible. Design changes or alternative building practices that avoid or minimize construction-related impacts should be considered and proposed when applicable.

### **Soil Compaction**

Soils are intentionally compacted under structures, sidewalks, roads, parking areas, and load-bearing fill to prevent subsidence, and to prevent soil movement on slopes. Although unintentional, soil within the root zone of trees is often compacted by unrestricted foot traffic, parking of vehicles, operation of heavy equipment, and during installation of fill. Compaction destroys the soil's natural porosity by eliminating much of the air space contained within it. It leaves the soil hard and impenetrable and largely unfavorable for root growth. The soil's natural porosity, which allows for water movement and storage, gaseous exchange, and root penetration, is greatly reduced. Consequently, root growth and tree health suffer. Soil compaction is best managed by preventing it.

Bulk density is used to describe a soil's porosity, or the amount of space between soil particles and aggregates. High bulk densities indicate a low percentage of total pore space.

### **Pavement**

Paving over the root systems of trees is another serious problem because it reduces the gaseous diffusion and soil moisture. Most paving materials are relatively impervious to water penetration and typically divert water away from a tree's root zone. Cracks and expansion joints do, though, allow for some water infiltration into the soil below. Of greater concern, is the loss of roots from excavation to achieve the required grade, and the necessary compaction to prevent subsidence. Once the soil surface is compacted, a

base material is then added and compacted as well. With that done, the surface can then be paved. Thus, pavement within the root zones of trees can damage roots and create

unfavorable soil conditions. One alternative to minimize pavement impacts is to consider placing the pavement on the natural grade over a layer of minimally compacted base material. To reduce sub-grade compaction, consider using reinforced concrete or asphalt over a geotextile blanket to help stabilize the soil. On-grade patios or paving that covers more than one-third of the tree protection zone (TPZ) should be constructed using permeable materials that allow aeration and water penetration. Soil under permeable surfaces should not be compacted to more than 80 percent.

### **Excavation and root pruning**

Excavation within the root zones of trees should be avoided as much as possible. The extent of root pruning (selective) or cutting (non-selective) should be based on the species growth characteristics and adaptive traits, environmental conditions, age, health, crown size, density, live crown ration and structural condition of the tree. The timing of the root pruning or cutting is another important consideration. Moderate to severe root loss during droughts or particularly hot periods can cause serious water-deficit injury or death.

When root pruning/ cutting is unavoidable, roots should be pruned or cut as far from the trunk as possible. Cutting roots on more than one side of a tree should also be avoided. Root cutting extending more than half-way around a tree should generally be no closer than about 10 times the trunk diameter. Recommended distances range from as little as 6 times trunk diameter (DBH) for young trees to 12 times trunk diameter for mature trees. The size of the TPZ should, however, be increased for over mature and declining trees and species that are sensitive to root loss.

The minimum distance from the trunk that roots can be cut on one side of the tree without destabilizing it, is a distance equal to about three times the diameter (DBH) of the trunk. Roots severed within that distance provide little or no structural support. Root pruning or cutting distances from the trunk should be greater for trees that lean and/ or those growing on shallow or wet soil.

In cases where the proposed grading will adversely affect trees designated for retention, special attention should be given to proper root pruning and post-construction care for injured trees. Where structural footings are required for foundations, retaining walls, etc., and roots larger than 2 inches in diameter will be impacted, consider design changes or alternative building methods.

When excavation within 5 times trunk diameter is unavoidable, roots greater than 1 ½ inches in diameter should be located prior to excavation and then pruned to avoid unnecessary damage. Hand-digging or use of a hydraulic or pneumatic soil excavation tool is the least disruptive way to locate roots for pruning. Although mechanical root pruners make clean cuts, they are non-selective. A backhoe bucket, dozer blade or

trencher will typically pull, rip or shatter the larger root, causing additional damage toward the tree. Once the roots that interfere with the structure being built, e.g.,

foundations, footings, retaining wall, curbs, etc., are exposed, they should then be cut perpendicular to their long axis using a hand-saw, 'carbide-tipped chainsaw' or sharp ax, depending on size. Roots that are pruned in this manner typically regenerate new roots from near the cut. Roots exposed by excavation should be protected from exposure to sun and desiccation. Exposed roots that can not be covered with soil by the end of the day should be covered with moistened burlap or similar material.

Roots can generally be cut in a non-selective manner when excavating near or beyond the dripline. Ripped, splintered or fractured portions of roots however, should be re-cut. The damaged portion should be removed using sharp tools. The cut should be flat across the root with the adjacent bark intact. Wound dressings should not be applied to pruned or damaged roots except when recommended for disease, insect or sprout control.

The best approach to avoid water-deficit injury following root loss during the growing season is to provide ample irrigation. Irrigation should be considered prior to, during, and after root pruning. Watering schedules should also consider local soil conditions, climate, topography, time of year, species adaptability, extent of root pruning and tree health. If possible, irrigate the tree 7 to 10 days prior to excavation so that there is an adequate reservoir of soil water. Water can be delivered to large construction sites via water-tank trucks and applied directly to affected trees or stored nearby in plastic tanks. On relatively flat terrain, a 6 to 8 inch soil berm at the tree's dripline should be constructed to act as a watering basin. On steep terrain, soaker hoses should be used. They can be placed across the slope or spirally around the trunk, from about six feet away to the dripline. In addition, a two to four inch layer of wood chip mulch should be applied to as much of the root zone as possible to retard soil water loss.

Pruning foliage to compensate for root loss is not supported by scientific research and likely to result in slower recovery. Fertilization to stimulate root growth is generally unwarranted and may be counterproductive.

### **Trenching within the Tree Protection Zone**

Trenching for underground utilities should be routed around the TPZ. When this is unavoidable, trenching within the TPZ should be done by 'hand' or using a pneumatic or hydraulic soil excavation tool, carefully working around larger roots. Roots larger than 1 ½ inches in diameter should not be cut. Dig below these roots to route utilities or install drains. A combination of tools can also produce satisfactory results, for example, a skillful backhoe operator under the arborist's supervision can dig down several inches at a time and detect larger roots by 'feel' (resistance). At that point, an assistant can expose the root and dig around it. In this manner, the backhoe can then continue extending the trench through the TPZ. Tunneling (boring) through the TPZ is the preferable alternative. For most large trees, tunneling depth should be at least 36 inches. Tunneling should begin at the edge of the TPZ, but no closer than a distance equal to one

foot of clearance for each inch of tree DBH. Tunnels should also be offset to either side of the trunk. For trenching that extends only part way into TPZ, consider trenching radially to the tree trunk, as this is less harmful than tangential trenching. All trenches

made within the TPZ should be backfilled as quickly as possible to prevent root and soil desiccation.

### **Managing Root Injured Trees**

Root-pruned trees should be monitored for symptoms of water-deficit injury for a specified period following root pruning. Irrigation should be considered prior to, during, and after root pruning. Irrigation schedules should consider local soil conditions, climate, topography, time of year, species tolerance, extent of root pruning and tree health.

### **Grade Change: Fill Soil**

Fill soil placed within the root zones of trees can have an adverse effect, particularly if the soil is compacted to support a structure or pavement. Soil compaction reduces aeration and water infiltration. Fill soil, due to textural changes, can also prevent water from penetrating the original soil layer below where the roots are. Furthermore, soil placed against the root crown and lower trunk can lead to root disease problems, especially if the soil near the trunk remains moist during the summer from irrigation. Alternatives to placing fills over roots zones shall be considered and proposed as appropriate.

### AUTHOR'S CREDENTIALS



## CERTIFICATION OF PERFORMANCE

I, Michael Crane, certify that:

- I have personally inspected the tree(s) and the property referred to in this report and have stated my findings accurately.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures and facts.
- My analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to me, except as indicated within the report.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party not upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

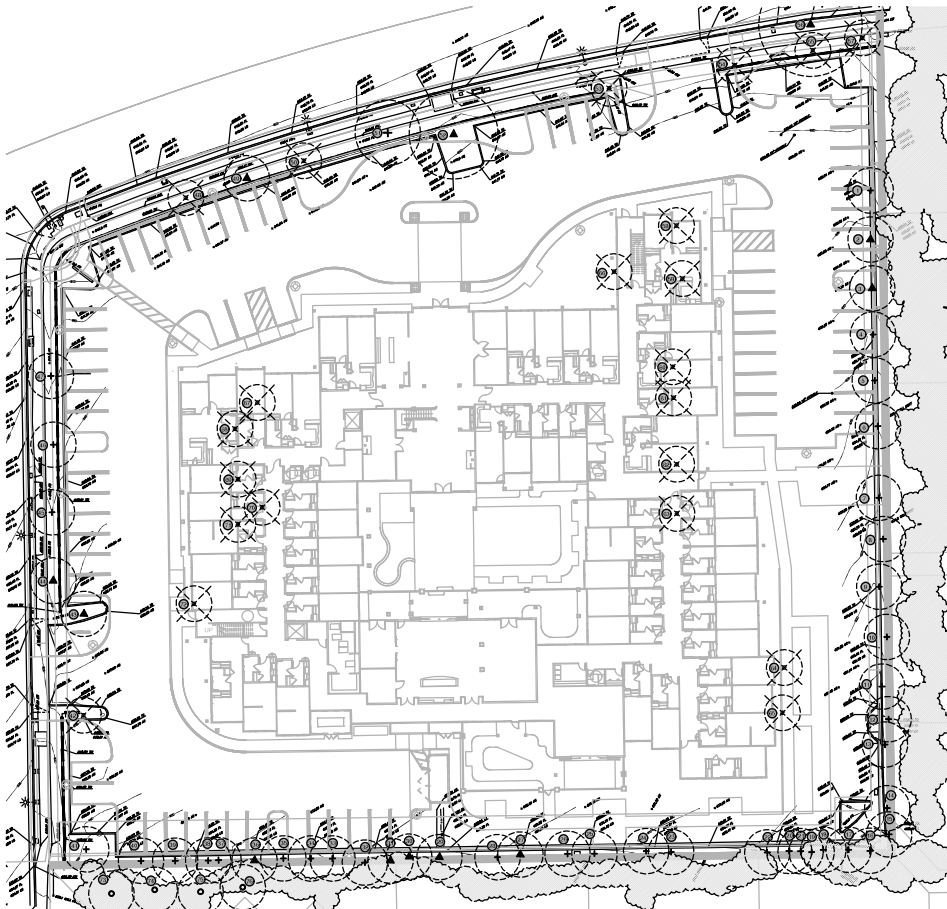
I further certify that I am a member in good standing of the American Society of Consulting Arborists and the International Society of Arboriculture. I have been involved in the field of Horticulture in a full-time capacity for a period of more than 25 years.

Signed:  \_\_\_\_\_

Registered Consulting Arborist #440; American Society of Consulting Arborist  
Board Certified Master Arborist #WE 6643B; International Society of Arboriculture  
Licensed California Agricultural Pest Control Adviser #AA08269

November 13, 2023  
Date: \_\_\_\_\_





**ARBORIST REPORT INFORMATION**

THIS PLAN AND THE RELATED INFORMATION IS BASED ON THE ARBORIST REPORT REPORT TITLED PRELIMINARY ARBORIST REPORT AND TREE INVENTORY DATED NOVEMBER 15, 2023.

**ARBORIST CONTACT INFORMATION**

ARBOR CARE, INC.  
 1660 S. MOUNTAIN ST.  
 PASADENA, CA 911  
 TEL. (626) 737-4007  
 PROJECT ARBORIST  
 MICHAEL CRANE

**TREE REPLACEMENT SUMMARY**





EXISTING TREES ON-SITE:	72 TREES
EXISTING TREE OFF-SITE:	4 TREES
EXISTING TREES TO BE REMOVED:	20 TREES
EXISTING TREES TO BE REMOVED FOR POOR HEALTH/DEAD:	2 TREES
EXISTING TREES TO REMAIN:	54 TREES
<b>MITIGATION INCHES REQUIRED:</b>	NONE

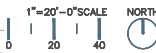
NO PROTECTED TREES WILL BE REMOVED AND ALL CAN BE RELIABLY PRESERVED IN PLACE.  
 \* REFER TO THE PLANTING PLAN ON SHEET L1 FOR MORE INFORMATION ON TREE SPECIES.

**TREE NOTES/INVENTORY**

REFER TO SHEET TD2 FOR TREE SUMMARY AND INVENTORY AND TREE PROTECTION NOTES

**TREE DISPOSITION LEGEND**

-  EXISTING TREE TO REMAIN, PROTECT IN PLACE
-  EXISTING NATIVE/PROTECTED TREE TO REMAIN, PROTECT IN PLACE
-  EXISTING OFF-SITE TREE TO REMAIN, PROTECT IN PLACE
-  EXISTING TREE TO BE REMOVED



**IVY AT ARCADIA**  
 ARCADIA - CALIFORNIA

O&I DEVELOPMENT - 23-09  
 DATE: 4.8.2024



**TD1**  
 TREE  
 DISPOSITION  
 PLAN

**ARBORIST TREE REPORT INFORMATION**

Tree #	Botanical Name	Common Name	Tree Dia.	Pruned Species	Minimum Required Size	Located in Protected Area	Pruned Tree	To Be Retained	Preserving Tree Contribution
1	Cycas revoluta	Carriwood	8"	Yes	No	Yes	No	No	No
2	Podocarpus parlati	Fern Palm	12"	Yes	Yes	Yes	Yes	No	No
3	Podocarpus parlati	Fern Palm	12"	Yes	Yes	Yes	Yes	No	No
4	Cycas revoluta	Carriwood	8"	Yes	No	Yes	No	No	No
5	Podocarpus parlati	Fern Palm	11"	Yes	No	Yes	No	No	No
6	Cycas revoluta	Carriwood	10"	Yes	No	Yes	No	No	No
7	Cycas revoluta	Carriwood	11"	Yes	No	Yes	No	No	No
8	Cycas revoluta	Carriwood	7"	Yes	No	Yes	No	No	No
9	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
10	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
11	Podocarpus parlati	Fern Palm	6"	Yes	No	Yes	No	No	No
12	Podocarpus parlati	Fern Palm	6"	Yes	No	Yes	No	No	No
13	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
14	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
15	Podocarpus parlati	Fern Palm	6"	Yes	No	Yes	No	No	No
16	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	No	No	No
17	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
18	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	No	No	No
19	Cycas revoluta	Carriwood	8"	Yes	No	Yes	No	No	No
20	Podocarpus parlati	Fern Palm	12"	Yes	No	Yes	No	No	No
21	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	No	No	No
22	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
23	Cycas revoluta	Carriwood	8"	Yes	No	Yes	No	No	No
24	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
25	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	No	No	No
26	Cycas revoluta	Carriwood	8"	Yes	No	Yes	No	No	No
27	Podocarpus parlati	Fern Palm	14"	Yes	Yes	Yes	Yes	No	No
28	Cycas revoluta	Carriwood	7"	Yes	No	Yes	No	No	No
29	Podocarpus parlati	Fern Palm	14"	Yes	Yes	Yes	Yes	No	No
30	Cycas revoluta	Carriwood	10"	Yes	Yes	Yes	Yes	No	No
31	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	Yes	No	No
32	Podocarpus parlati	Fern Palm	11"	Yes	No	Yes	No	No	No
33	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	No	No	No
34	Cycas revoluta	Carriwood	10"	Yes	No	Yes	No	No	No
35	Podocarpus parlati	Fern Palm	10"	Yes	No	Yes	No	No	No
36	Cycas revoluta	Carriwood	12"	Yes	Yes	Yes	Yes	No	No
37	Podocarpus parlati	Fern Palm	12"	No	Yes	Yes	No	No	No
38	Podocarpus parlati	Fern Palm	8"	Yes	No	Yes	No	No	No
39	Cycas revoluta	Carriwood	5"	Yes	No	Yes	No	No	No
40	Pinus banksiana	Aspen Palm	M 3" x 7"	Yes	No	Yes	No	No	No
41	Pinus banksiana	Aspen Palm	5"	Yes	No	Yes	No	Yes	Yes
42	Pinus banksiana	Aspen Palm	12"	Yes	Yes	Yes	Yes	No	No
43	Myrica carolinensis	Swamp Myrtle	17"	Yes	Yes	Yes	Yes	No	No
44	Myrica carolinensis	Swamp Myrtle	11"	Yes	No	Yes	No	No	No
45	Myrica carolinensis	Swamp Myrtle	11"	Yes	No	Yes	No	No	No
46	Myrica carolinensis	Swamp Myrtle	11"	Yes	No	Yes	No	No	No
47	Myrica carolinensis	Swamp Myrtle	11"	Yes	No	Yes	No	No	No
48	Myrica carolinensis	Swamp Myrtle	4"	Yes	No	Yes	No	Yes	NA
49	Myrica carolinensis	Swamp Myrtle	10"	Yes	Yes	Yes	Yes	No	No
50	Myrica carolinensis	Swamp Myrtle	10"	Yes	Yes	Yes	Yes	No	NA
51	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	No	No
52	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	No	No
53	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
54	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
55	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
56	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
57	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
58	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
59	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
60	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
61	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
62	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
63	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
64	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
65	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
66	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
67	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
68	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
69	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
70	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
71	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
72	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
73	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
74	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
75	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
76	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
77	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
78	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
79	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
80	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
81	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
82	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
83	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
84	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
85	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
86	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
87	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
88	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
89	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
90	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
91	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
92	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
93	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
94	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
95	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
96	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
97	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
98	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
99	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes
100	Myrica carolinensis	Swamp Myrtle	8"	Yes	No	Yes	No	Yes	Yes

**TREE PROTECTION GENERAL NOTES**

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
  - AROUND AN AREA AT OR GREATER THAN THE FULL DAPLINE OF ALL PROTECTED TREES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DAPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DAPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DAPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF IN THE OPINION OF THE ARBORIST, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS ANY PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

**IVY AT ARCADIA  
ARCADIA - CALIFORNIA**

O&I DEVELOPMENT - 23-09  
DATE: 4,8,2024



**TD2  
TREE  
DISPOSITION  
NOTES**



**ARCADIA PLANNING COMMISSION  
REGULAR MEETING MINUTES  
TUESDAY, APRIL 9, 2024**

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**CALL TO ORDER** Chair Tsoi called the meeting to order at 7:00 p.m.

**ROLL CALL**

PRESENT: Chair Tsoi, Vice Chair Wilander, Arvizu, Hui, and Tallerico

ABSENT: None

**SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS**

Deputy Development Services Director Lisa Flores informed the Commission that one letter was received by CalHDF and it was distributed to the Commissioners by email and a hard copy was provided at the meeting.

**PUBLIC COMMENTS (5 minute time limit per person)**

There were none.

**PUBLIC HEARING**

- 1. Resolution No. 2145**– Approving Multiple Family Architectural Design Review No. MFADR 23-04, Tentative Tract Map No. TTM 23-08 (84272), and Protected Healthy Tree Removal Permit No. TRH 23-07 for an eight-unit, Modern Prairie style, Multiple Family Residential Development at 306 California Street  
**CEQA:** Exempt  
**Recommendation:** Adopt

**Applicant:** Eric Tsang

**MOTION - PUBLIC HEARING**

Chair Tsoi introduced the item and Associate Planner, Gary Yesayan presented the staff report.

Commissioner Arvizu asked what the height of the building was at 314 California Street.

Mr. Yesayan said the building is approximately 32 feet.

Commissioner Arvizu asked about the other properties in the surrounding area and what their heights were.

Mr. Yesayan stated he does not have that data.

Ms. Flores explained how buildings with semi-subterranean parking were measured in the past.

Commissioner Arvizu requested the first sentence of Section 2-J of the Resolution should be amended to state there are “three-story buildings that are 33’-0” in height and others close to that height” instead of “there is a three-story building 32 feet in height.”

Commissioner Arvizu asked Mr. Yesayan if he worked with the Applicant on the articulation in the western facing elevation.

Mr. Yesayan responded that the Applicant did work with staff to ensure there were enough articulation and/or a mix of wall materials to break-up the stucco walls.

The public hearing was opened.

Kaizen Chen introduced himself and spoke on behalf of the Applicant and the Property Owner. He also addressed the Commissioners' concerns.

Commissioner Tallerico asked Mr. Chen if they considered designing the project around the mature Coast Live Oak tree.

Mr. Chen explained that they did consider it and explored several different layouts, however they could not meet the minimum density and keep the tree. He reiterated that they are planting three replacement trees which exceeds the minimum requirement of two 24-inch box replacement trees.

Commissioner Arvizu asked the Applicant if they would consider applying for a Variance to build six units instead of the required eight units to avoid removing the tree.

Mr. Chen stated that it is not financially feasible for the property owner.

No one spoke in favor of the proposal.

No one spoke in opposition to the proposal.

Vice Chair Wilander made a motion to close the public hearing. Commissioner Tallerico seconded the motion.

Without objection, the motion was approved.

## **DISCUSSION**

Vice Chair Wilander asked if it is possible to get a Variance to build six units instead of eight to save the oak tree.

Ms. Flores said it would be up to the Applicant to initiate that request. The Planning Commission can only act on the request that is before them tonight.

Vice Chair Wilander expressed concern about the tree removal but understands more housing is important and was satisfied that three replacement trees will be planted on the property.

Commissioner Tallerico did not have any problems with the project and was pleased with the proposed replacement trees.

Commissioner Hui had no comments.

Commissioner Arvizu liked the design but was concerned about the removal of the oak tree on the property, especially due to its size and age. Mr. Arvizu would prefer the Applicant modify the proposal to include less units and apply for a Variance to save the tree.

Chair Tsoi said the project's design is attractive and although he was sad to see the tree go, he acknowledged that the proposal meets all the requirements.

The Commissioners discussed modifying Condition No. 3.

Commissioner Arvizu and Vice Chair Wilander said they would like to amend the condition to require the Applicant to plant four (4) 60-inch box oak trees instead of three (3) 36-inch box oak trees.

Mr. Yesayan stated that based on his experience working with many Certified Arborists, the larger box size trees do not have the greatest survival rate.

The Commission agreed on modifying the conditions on the tree.

## **MOTION**

It was moved by Commissioner Arvizu, seconded by Vice Chair Wilander to adopt Resolution No. 2145 approving the Multiple Family Architectural Design Review No. MFADR 23-04, Tentative Tract Map No. TTM 23-03 (84242), Protected Healthy Tree Removal No. TRH 23-07, for eight-unit Modern Prairie style, Multiple-Family Residential Condominium Development at 306 California Street amending section 2-J of the Resolution and modifying condition no. 3 regarding the trees, and that the project is exempt from CEQA.

## **ROLL CALL**

AYES: Chair Tsoi, Vice Chair Wilander, Commissioner Arvizu and Hui  
NOES: Commissioner Tallerico  
ABSENT: None

The motion was approved.

*There is a 10-day appeal period. Appeals are to be filed by 5:30 p.m. on Monday, April 22, 2024.*

## **CONSENT CALENDAR**

1. Minutes of the March 12, 2024, Regular Meeting of the Planning Commission

**Recommendation:** Approve

Commissioner Tallerico motioned to approve the minutes and seconded by Vice Chair Wilander.

## **ROLL CALL**

AYES: Chair Tsoi, Vice Chair Wilander, Commissioners Arvizu, Hui, and Tallerico  
NOES: None  
ABSENT: None

The motion was approved.

### **DISCUSSION ITEMS FROM COMMISSIONER TALLERICO**

Commissioner Tallerico gave a presentation on Hostile Architecture and provided updates from the 2024 Planning Commission Academy.

### **MATTERS FROM CITY COUNCIL LIAISON**

City Council Member Kwan had nothing to report.

### **MATTERS FROM THE PLANNING COMMISSIONERS**

The Commissioners had nothing to report.

### **MATTERS FROM CITY ATTORNEY**

City Attorney Mike Maurer informed the Commission that the Cal Cities League has a great resource for tracking State Bills.

Chair Tsoi asked if there will be any housing bills that will be adopted soon.

Mr. Maurer said there are not any bills that will be adopted soon but that he is keeping track of bills that are moving along in the legislature process.

### **MATTERS FROM STAFF INCLUDING UPCOMING AGENDA ITEMS**

Ms. Flores reported that the April 23 meeting will be cancelled and there will be one item for the May 14 meeting.

Ms. Flores reported that there will be a discussion for Inclusionary Housing at the May 28 meeting.

The City Engineer, Kevin Merrill, provided the Commission with an update regarding timed parking on Foothill Boulevard and Wigwam Avenue, and that the Traffic Advisory Committee determined that the timing should remain the same at this time.

### **ADJOURNMENT**

The Planning Commission adjourned the meeting at 8:31 p.m., to Tuesday, April 23, 2024, at 7:00 p.m. in the City Council Chamber.

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Chair Tsoi, Planning Commission

ATTEST: \_\_\_\_\_  
Lisa L. Flores  
Secretary, Planning Commission